

**AGENDA**  
**City of Monona Plan Commission**  
**Monona Public Library - Municipal Room**  
**1000 Nichols Road, Monona, WI**  
**Monday June 27, 2016**  
**7:00p.m.**

1. Call to Order
2. Roll Call
3. Approval of Minutes of June 13, 2016
4. Appearances
  - A. Alder Mary O'Connor Regarding Single-Family Residential Development Standards.
5. Unfinished Business
  - A. Public Hearing on a Zoning Permit Request for a 15,000 SF Building Addition for Wiedenbeck Inc., at 2451 Kilgust Road, Represented by Dave Hamby, Tri-North Builders. (Case No. 2-005-2016)
  - B. Consideration of Action on a Zoning Permit Request for a 15,000 SF Building Addition for Wiedenbeck Inc., at 2451 Kilgust Road, Represented by Dave Hamby, Tri-North Builders. (Case No. 2-005-2016)
  - C. Consideration of Action on Wall Sign Permit Request for Wiedenbeck Inc. at 2451 Kilgust Road, Represented by Mary Beth Growney of Ryan Signs. (Case No. S-016-2016)
  - D. Plan Commission Review and Recommendation to City Council on Recodification Summary by General Code Regarding Land Use Legislation Sections of the Monona Municipal Code of Ordinances.
6. New Business
7. Reports of Staff and Commission Members
  - A. Staff Report Regarding Status of Development Project Proposals.
    - i. Upcoming Meetings: July 11, 2016 and July 25, 2016
  - B. Plan Commission Requests for Information Concerning Development Projects.
8. Adjournment

NOTE: Upon reasonable notice, the City of Monona will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact Joan Andrusz at (608)222-2525, FAX: (608)222-9225, or through the City Police Department TDD telephone number 441-0399. The public is notified that any final action taken at a previous meeting may be reconsidered pursuant to the City of Monona ordinances. A suspension of the rules may allow for final action to be taken on an item of New Business.

It is possible that members of an a possible quorum of members of other governmental bodies of the municipality may be in attendance at the above state meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above state meeting will take no action other than the governmental body specifically referred to above in this notice.

Agenda posted 6/21/2016 on the City Hall, Library, and Community Center bulletin boards and on the City of Monona's website, [www.mymonona.com](http://www.mymonona.com).

**Minutes  
Plan Commission Meeting  
June 13, 2016  
7:00pm**

Chair Busse called the meeting of the City of Monona Plan Commission to order at 7:00pm.

Present: Chair Alder Jim Busse, Mr. Grif Dorschel, Mr. Robert Stein, Mr. Chris Homburg, Ms. Kathy Thomas, Alder Brian Holmquist

Excused: Mr. Dale Ganser and Ms. Susan Fox

Also present: City Planner & Economic Development Director Sonja Reichertz

**Approval of Minutes**

A motion by Mr. Dorschel, seconded by Mr. Stein, to approve the minutes of May 23, 2016 carried with corrections.

**Appearances**

There were no appearances.

**Unfinished Business**

**A. Public Hearing on Façade Improvement Grant Project and Zoning Permit Request for Exterior Building Alterations for Rosy Cheeks and Co. at 6045 Monona Drive.**

Owner Mary Lou Reinwand stated that her application has not changed since the 5/23/16 prehearing conference and she was available for questions. There were no other appearances and the public hearing was declared closed.

**B. Consideration of Action on Façade Improvement Grant Project and Zoning Permit Request for Exterior Building Alterations for Rosy Cheeks and Co. at 6045 Monona Drive.**

Planner Reichertz explained that this item was reviewed on 5/23/16 where the Plan Commission determined improvements to be eligible under the program guide and the grant request was approved by Finance and Personnel on 6/6/16. Approval is recommended as written in the staff report.

A motion was made by Ms. Thomas, and seconded by Alder Holmquist, to approve a zoning permit and façade improvement grant program project for the property at 6045 Monona Drive, as proposed, according to Section 13-1-180 of the Monona Municipal Zoning Code, with the following Findings of Fact and Conditions of Approval:

Findings of Fact:

1. The property at 6045 Monona Drive is an eligible property to receive funding under the Façade Improvement Program.
2. The Plan Commission determined that the proposed plans and designs conform to the Urban Design Guidelines for Monona Drive and that the proposed

improvements are eligible projects as listed in the Façade Improvement Program guide.

3. The Finance and Personnel Committee reviewed the grant request on 6/6/16 and approved funding from Tax Increment Financing District #4 in the amount of \$8,593.00.

Conditions of Approval:

1. The project should be completed within 12 months of the Plan Commission approval.
2. Upon project completion, the applicant shall notify the City Planner to inspect the project for full compliance with the documents and approvals granted, and the City Planner and applicant will sign a Close-Out Form acknowledging successful completion and that the applicant has complied with all terms of the agreement with the City.
3. Upon receipt of the Close-Out Form, the applicant may submit the Reimbursement Request Form to the City Planner along with necessary documentation such as paid invoices and if found to be in compliance, the City will issue a reimbursement check to the applicant for the grant amount approved.

The motion carried.

**C. Public Hearing on a Zoning Permit Request for a New Restaurant, Breakwater, at the Former Location of Bourbon Street Grille, at 6308 Metropolitan Lane.**

Mr. Homburg abstained from this item.

Pamela Meicher, 6311 Winnequah Road, requested that Breakwater abide by the same considerations as Bourbon Street Grille in terms of speakers and lighting.

Chris Homburg, 5512 Woodridge Road, spoke for informational purposes. Mr. Homburg abstained from this item because he is a member of the Yacht Club and did not want his input at the last meeting to be construed as a special favor. He stated that Breakwater's application should be treated equitably and said he does not think the Plan Commission should retroactively reduce the restaurant capacity below what Bourbon Street Grille had because a restaurant was there before the code changed.

Bill Noltner, 4812 Winnequah Road, stated that he agrees with Mr. Homburg's statement and that if Breakwater is running a good business, he has no issues with their parking situation.

Brandon Reid was present representing Breakwater.

There were no other appearances and the public hearing was declared closed.

**D. Consideration of Action on a Zoning Permit Request for a New Restaurant, Breakwater, at the Former Location of Bourbon Street Grille, at 6308 Metropolitan Lane.**

Mr. Homburg abstained from this item.

Planner Reichertz explained that this item was previously reviewed on 05/23/16 and the parking situation was discussed. The Plan Commission gave consideration for a capacity credit during summer months due to the additional parking that would be available for those arriving by boat at the 13 available boat slips. Based on the amount of off-street parking available, her recommendation is to limit the capacity at 162 patrons during winter months and 214 during summer months for consistency with the zoning code. The summer months are defined as dates between April 15<sup>th</sup> and October 15<sup>th</sup>. This is reflected in the recommended findings of fact and conditions of approval written in the staff report. She added that she discussed this with the tenant and owner who felt this capacity was reasonable and appropriate for the amount of off-street parking available.

A motion was made by Ms. Thomas and seconded by Aldm. Holmquist to approve the zoning permit request.

Mr. Dorschel asked that the Commission discuss the parking situation and asked the applicant whether or not this adjustment was reasonable.

Brandon Reid, the applicant, said that the only negative would be if there was a private event at the restaurant like a wedding reception where they might need more parking.

Mr. Dorschel asked Staff what the previous capacity limitations were on the former Bourbon Street Grille. Planner Reichertz responded that the capacity was unclear in the records and that is why it was brought to the Plan Commission to review the full application to see if it was compliant with the parking regulations in the zoning code.

Ms. Thomas wanted to know who uses the street parking and thinks there should be flexibility in street parking if there is overflow from Breakwater. Planner Reichertz also mentioned that the zoning code requirements are meant to accommodate all users during the "normal course of events" and if the restaurant exceeds capacity occasionally, the patrons would use public street parking as overflow as other restaurants in the city do.

Mr. Dorschel asked about the previous provisions for music and noise for that location.

Staff read aloud the conditions of a 2008 permit for the former tenant Bourbon Street Grille regarding noise limitations which included:

1. The outdoor live music is limited to a five person group or quintet.
2. The outdoor live music shall be limited to any two (2) days of the week or two (2) occurrences.
3. The outdoor live music shall be limited to a maximum of 4 hours per occurrence including breaks.
4. The outdoor live music is allowed from 4 p.m. to 8 p.m. on weeknights and from 12 p.m. to 9 p.m. on weekends.
5. The outdoor live music shall be limited to live un-amplified music, except for light amplification of vocals and acoustic instruments and drums with brushes only (no drumsticks).
6. The type of music shall be limited to easy listening as proposed by the applicant.
9. If no complaints about the outdoor live music are received by the City of Monona, the Zoning Permit may be renewed by city staff.
12. Outdoor speakers shall point away from residential properties.

Mr. Stein asked Staff about the reasoning for not recommending these same limits in the staff recommendation for the new restaurant.

Planner Reichertz stated that she recommended conditions stating that the use must always comply with the standards of the noise ordinance regardless, and that outdoor live music be limited to 4 p.m. to 8 p.m. on weeknights and from 12 p.m. to 9 p.m. on weekends, as proposed by the applicant which is consistent with the permit for the previous tenant.

Chair Busse asked how the number of patrons was determined for those arriving by boat. Planner Reichertz responded that it was based off the application submitted which identified 13 slips with a capacity of 4 people per boat (52 people), which increased the summer capacity credit to 214.

The Fire Capacity was discussed. Alder Holmquist stated that it seems logical to increase the capacity based on the ample street parking available on Bridge Road. The difference between the staff recommendation of 162 people and the fire capacity of 261 requires about 33 parking spaces and there are about 32 on Bridge Road.

Alder Holmquist offered a friendly amendment to condition the approval on a total capacity of 261. The maker of the original motion accepted this amendment.

Mr. Dorschel said that because noise has been an issue with the previous restaurant, he wondered if the conditions should be more specific beyond simply listing the noise ordinance.

Brandon Reid then explained that Breakwater is not trying to go as far as the limitations for noise as listed in the ordinance. All sound will be cut off outside at 9 p.m. and live music is not something they are considering. He added that the Fire Department will be inspecting the space and may adjust the fire capacity. Chair Busse said the condition should then be whichever capacity is less.

Alder Holmquist expressed the need to consider the proximity of Breakwater to a residential area. He said neighbors and the business owner should be encouraged to resolve noise issues together.

Alder Holmquist offered a friendly amendment to add a condition of approval that states that the permit be automatically renewed by city staff if no complaints regarding outdoor noise are received within a year of zoning approval. The maker of the motion accepted.

Staff read aloud the motion on the table to approve a zoning permit for a new restaurant, Breakwater, at 6308 Metropolitan Lane, as proposed, and according to section 13-1-180 of the Monona Municipal Zoning Code with the following conditions of approval:

1. Approval of all required building permits shall be obtained.
2. The restaurant occupancy shall be limited to 261 patrons or the Fire Department capacity whichever is less.
3. Any amplified noise emitted from the patio shall comply with the decibel levels of Section 13-1-42(a) of the Zoning Code – Operational Use Performance Standards: Noise.
4. Outdoor live music is permitted from 4:00pm to 8:00pm on weeknights and from 12:00pm to 9:00pm on weekends.
5. If no complaints about outdoor live music are received from year to date of approval, city staff shall automatically renew the permit. If complaints are received then the permit shall return to Plan Commission for discussion and consideration.
6. Future signage shall be submitted for review and approval by the Plan Commission.

The motion carried.

**E. Plan Commission Review and Recommendation to City Council on Recodification Summary by General Code Regarding Land Use Legislation Sections of the Monona Municipal Code of Ordinances.**

This item was tabled for discussion to a future Plan Commission meeting.

**New Business**

**A. Consideration of Action on Wall Sign and Landscape Ground Sign Permit Requests for Rosy Cheeks and Co. and Sassy Chic Salons at 6045 Monona Drive.**

Property/Business Owner Mary Lou Reinwand described her signage request and presented drawings prepared by LaCrosse Sign Co. The ground sign is two-sided and lists each of the two businesses in the building. She also showed the wall sign identifying only Rosy Cheeks.

Planner Reichertz reported that these signs require Plan Commission approval because they are sign requests accompanying a zoning permit for a change in use. She noted concerns regarding the sign's legibility and visual clarity due to the script style font, letter size, and gradation of color making it difficult to read for drivers passing by on Monona Drive.

Mr. Homburg asked if the Commission is allowed to regulate these types of issues due to the Supreme Court rule regarding regulation of sign content. Reichertz replied that it could be a danger and distraction to drivers trying to read the sign from Monona Drive and that the City can uphold regulations that further a legitimate government purpose such as protecting the community's safety.

There was discussion regarding why only Rosy Cheeks was identified on the building sign and not the other business. Ms. Reinwand said she is moving the Rosy Cheeks wall sign from her current business location to this location, and that the second business will be identified with signage placed on the door window.

A motion was made by Mr. Stein, and seconded by Mr. Homburg, to approve the sign permit requests for a wall sign and landscape ground sign at 6045 Monona Drive, as proposed, according to Section 13-1-220 of the Monona Municipal Zoning Code.

Alder Holmquist commented and stated that if the sign for the other business is a second wall sign it will require Commission approval. Ms. Reinwand clarified that it is not another wall sign and it is applied directly to the glass like a window sign.

The motion carried.

**B. Public Hearing on a Zoning Permit Request for a 15,000 SF Building Addition for Wiedenbeck Inc., at 2451 Kilgust Road.**

Jane Young, Wiedenbeck Inc, provided background on the company and details of their request for two new building additions include an 11,300 SF warehouse addition and a 4,900 SF garage for truck storage. Dave Hamby of Tri-North Builders provided additional detail. He said the wooded area would be removed, and addition will be extended near the west property line. A stormwater drain system will pipe water around the building to an existing swale on South Towne Drive. The building addition color will match the existing building, and garage bay doors will not face South Towne Drive. They are seeking approval of both additions, but may only build the larger one first.

Darrin Pope, the City's consultant engineer from Vierbicher Associates Inc., presented his report on site layout and grading, utilities, erosion control and stormwater management, and vehicle circulation. He said the drainage pipe should not encroach into City ROW, areas need to be graded differently, and all parts of the building must be within 300' of a fire hydrant. The addition is not within the 300' radius and therefore a private hydrant must be installed at the owner's expense. The regional basin handles sediment removal and runoff control, and oil and grease control is not required. He has no vehicle circulation concerns. More detail on his review was provided in a letter.

There were no further comments and the public hearing was declared closed.

**C. Prehearing Conference on a Zoning Permit Request for a 15,000 SF Building Addition for Wiedenbeck Inc., at 2451 Kilgust Road.**

Planner Reichertz stated that a zoning permit is required for the proposed addition.

Alder Holmquist asked if all the landscaping would be removed even if the garage addition is not built. He added that there will be a larger visual impact because views of the truck loading area will no longer be screened from South Towne Drive.

Mr. Stein recommended erosion control measures on the southeast corner of the site.

Mr. Homburg recommended pulling the pipe further into the right of way to get closer to the storm system and add riprap. He asked for confirmation of whether the drainage swale empties into the wetlands; if so, it may need to be treated/cleaned first. He agreed with Alder Holmquist's comments about loss of landscape screening on the west side of the building. He said Wiedenbeck may need to adjust the building materials or add more landscaping. He noted that the plans show encroachment of pavement onto the property to the north; the Plan Commission cannot approve this without easement documentation. He cautioned Wiedenbeck about proximity of the MMSD sanitary sewer and that the applicant should notify MMSD of the proposed construction. He said the land disturbance exceeds an acre which requires a Notice of Intent (NOI) from the DNR; the DNR may require wetland delineation before NOI approval and the applicants should know this could take some time. Mr. Homburg reminded Wiedenbeck that if they choose not to construct the garage right away the zoning permit will expire after 6 months and they may have to come back for review. He also requested the percentage of green space on the site before and after the proposed addition.

Chair Busse suggested adding landscaping to the west elevation. He asked the applicants to make sure the LED lights are directed down so as not to cause glare issues.

There was no further discussion.

**D. Consideration of Wall Sign Permit Request for Wiedenbeck Inc. at 2451 Kilgust Road.**

Mary Beth Growney Selene of Ryan Signs presented plans for two proposed signs. One sign is located on the north building elevation and the second sign is location on the west elevation. Both signs are non-illuminated, individual acrylic cut letters. The sign on South Towne Drive will be 225 SF and they are requesting an exception to the sign code to exceed 150 SF of sign area on the building by 125 SF.

Planner Reichertz reported that approval is recommended with findings of fact and conditions listed in the staff report, because a larger sign is more in scale with the size of the building.

Mr. Homburg agreed that the smaller sign is too small given the dimensions of the building. Alder Holmquist and Mr. Stein agreed with the comments on the sign size, however, it was noted that if the

second addition (garage) is not built, the ratio of sign to wall area would change and the sign may no longer be an appropriate size.

The Commission requested Staff to provide information on the ratio of sign to wall face for the Gordon Flesch sign for comparison for the next meeting.

A motion to table was made by Ms. Thomas and seconded by Mr. Dorschel. The motion carried.

**E. Public Hearing on Zoning Permit Request for a New Garage to Replace an Existing Garage at 850 E Broadway, Hansen and Sons Chimney and Fireplace LLC.**

Property Owner Bill Noltner presented plans for a new garage for of Hansen and Sons Chimney and Fireplace LLC at 850 E Broadway which is a metal clearly building that includes two 12x12' overhead doors. He said he talked to Advantage and Best Defense regarding the required monitored alarm system. He said the new garage is not in the flood plain.

There were no other appearances and the public hearing was declared closed.

**F. Consideration of Action on Zoning Permit Request for a New Garage to Replace an Existing Garage at 850 E Broadway for Hansen and Sons Chimney and Fireplace LLC.**

Planner Reichertz commented that the garage requires a zoning permit as new construction/building addition and it is scheduled for action rather than a prehearing conference because of the relatively limited scope of work. If the Plan Commission determines more information is needed, the item may be tabled. Approval is recommended as listed in the staff report.

Mr. Homburg expressed his concern that that the proposed metal building does not meet standards for the East Broadway design district and that the garage and bay doors will be visible from the street. Ms. Thomas agreed and said it should be hidden more.

Alder Holmquist stated that the Plan Commission had similar concerns for a recent proposal for a Meineke Car Center at 1000 E Broadway and that they required the applicant to meet higher standards for building design. He said revisions to the plans could include building it in a different location, reorienting the building to hide the doors, or using different building materials.

Bill Noltner replied to comments stating that the metal garage is an improvement over the existing garage and that part of the garage is set behind the existing principal building, hiding it from view.

The Commission discussed moving the garage west so that the east edge of the garage aligned with the east edge of the principal building so that the garage and the bay doors would be hidden from view behind the principal building. The Commission discussed the amount of room needed for trucks to enter the garage, if the garage were to be moved west as noted above. The Commission discussed that if the setback was closer to the south lot line, that this would allow more room for trucks to maneuver into the garage.

Mr. Homburg said the setback for detached structures is 3 feet. Staff noted that this is true for the single-family and two-family districts but there is not a specific number listed in the Community Design District Zoning District. The Commission discussed further and noted that since the property south is a wetland and will not be developed, a one foot setback off the property line would be acceptable if the applicant can show it on a site plan based on the surveyor's stakes.

A motion was made by Ms. Thomas, seconded by Alder Holmquist, to approve a zoning permit for an 850 SF metal pole building/garage for the property at 850 E Broadway, as proposed, and according to Section 13-1-180 of the Monona Municipal Zoning Code with the following findings of fact and conditions of approval:

Findings of Fact:

1. The architectural materials are approved because it is an accessory building that has adequate screening from the public view on E Broadway.
2. The proposed structure is not located in the regulatory floodplain as shown on the submitted survey dated May 18, 2016.

Conditions of Approval:

1. The applicant shall obtain all other required state and local permits including building and electrical permits.
2. A monitored alarm system and Knox Box are required per the Fire Chief.
3. The existing garage shall be removed prior to granting of final occupancy permits.
4. The rear setback shall be no less than one foot from the south property line to the building.
5. The eastern most edge of the new garage shall be aligned with the eastern most edge of the existing principal building.

The motion carried.

**Reports of Staff and Commission Members**

**A. Staff Report Regarding Status of Development Project Proposals.**

The next meeting is June 27, 2016. Potential applications include a proposed 105' wireless communications tower in the South Towne Industrial Park at 2180 Industrial Drive and signage applications for the School District offices. Recodification sections of the Code will also be presented for Plan Commission approval.

**B. Plan Commission Requests for Information Concerning Development Projects.**

There were no questions.

**Adjournment**

A motion by Mr. Dorschel, seconded by Ms. Thomas, to adjourn was carried. (8:34 pm)

Respectfully submitted by:  
Sonja Reichertz, City Planner

**PLAN COMMISSION STAFF REPORT  
CITY OF MONONA**

**MEETING DATE: June 27, 2016  
AGENDA ITEM 5A & 5B  
CASE NO. 2-005-2016**

**Project:** Recommendation on Zoning Permit Request for a 15,000 SF Building Addition for Wiedenbeck, Inc.  
**Project Address:** 2451 Kilgust Road  
**Applicants:** Jane Young and Jim Wiedenbeck, Wiedenbeck, Inc. Owners  
Dave Hamby, Tri-North Builders, General Contractor  
Boyd Coleman, Architect  
Ryan Quam, Engineer

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**Proposal Summary:**

Plans have been submitted describing the requested building additions for the Wiedenbeck site at 2451 Kilgust Road and are summarized below as follows:

- Add 11,301 SF addition for metal storage, distribution, and fabrication. This will extend from the existing building west, towards South Towne Drive.
- Add 4, 890 SF for a storage garage which is planned to be attached to the first addition listed above.

**Applicable Regulations, Policy, or Practice:**

The property is zoned Community Design District. A zoning permit approved by the Plan Commission is required for any new construction, substantial relocation, substantial enlargement of any building, or for any new use or change of use. All zoning permit requests in the Community Design District (CDD) are forwarded to the Plan Commission for review and approval.

The Plan Commission must also review the plans for consistency with Appendix A of the Zoning Code for parking lot, landscaping, and lighting standards, building and signage design elements, and other sections that apply including the Stormwater and Erosion Control Ordinance.

**Recommendation:**

Approval of a zoning permit for a 15,000 SF Building Addition for Wiedenbeck Inc., at 2451 Kilgust Road, as proposed, according to Section 13-1-180 of the Monona Municipal Code of Ordinances is recommended with the following findings of fact and conditions of approval:

**Findings of Fact:**

1. The property is located in the City's South Towne business park which has a regional off-site stormwater management basin which provides the ordinance required runoff rate control and the required sediment (TSS) control for all properties in the South Towne business park.

**Conditions of Approval:**

1. All required building permits from state and local agencies shall be obtained.
2. Both the approximately 11,000 square foot addition and approximately 4,000 square foot addition shall be constructed at the same time. If the applicants are unable to complete both additions at the same time, plans shall return to the Plan Commission to review design considerations including any additional requirements for landscape screening.
3. A private hydrant is required and shall be added to the site at the owner's expense as shown on the approved plans.

4. The Fire Chief has approved connection of the private hydrant via a 6" pipe instead of 8" which may be tapped into the existing lateral rather than the water main in Kilgust Road; this change shall be shown on a revised Utility Plan.
5. If the water main in Kilgust Road is tapped in the street for the new hydrant, then City of Monona street patching requirements shall apply.
6. Any work in City Right-Of-Way (ROW) requires approval of a ROW Permit and submittal of the ROW Permit fee of \$50.00.
7. A fire suppression system and monitored alarm system shall be added to the building additions as required by the Fire Chief.
8. A Knox box shall be added to the building if not already present as required by the Fire Chief.
9. A letter and revised plans that address comments found in the 6/7/16 Vierbicher Letter and subsequent Vierbicher review shall be submitted.
10. A revised stormwater management plan that supports that the proposed stormwater management features comply with the ordinance requirements shall be submitted.
11. A Dane County Register of Deeds Office recorded copy of the stormwater maintenance agreement which includes provisions for maintenance of the on-site storm sewer pipe, inlet and catch basin shall be provided to the City by the Applicant before an Erosion Control and Stormwater Management Permit can be issued by the City.
12. A revised City of Monona Erosion Control and Stormwater Management Permit application signed by the Landowner or Applicant, and accompanied by a check in the amount of the review fee shall be submitted to the Public Works Director prior to issuance of building permits.
13. A stormwater report that supports the proposed stormwater management features comply with the ordinance requirements shall be submitted prior to issuance of an Erosion Control and Stormwater Management Permit.
14. Submittal of required permits from other agencies shall be obtained and submitted to the City prior to issuance of building permits, including the WNDR Construction Site Erosion Control Permit (WRAPP/NOI).

## Proposal

Wiedenbeck, Inc., a distributor of metals and industrials supplies, which also provides metal fabrication services, is an existing business located in the South Towne Industrial Park (since 1986) at 2451 Kilgust Road. Wiedenbeck's tonnage of metal sold has increased by over 80% in the last 5 years. Wiedenbeck needs additional space to continue operating the same business and accommodate their recent growth.

Plans have been submitted describing the requested building additions and summarized below as follows:

- Add 11,301 square foot addition for metal storage, distribution and fabrication. This will extend from the existing building west, towards South Towne Drive.
- Add 4,890 square foot addition for a storage garage which is planned to be attached to the first addition listed above.

## Plans Submitted

The following revised plans were submitted for the 6/27/16 meeting:

- Revised letter dated 6/23/16.

## Public Hearing

A public hearing is scheduled on the agenda for the 6/27/16 meeting to allow nearby property owners the opportunity to comment on the plans and to notify them of the proposal. A notice was mailed to surrounding properties within 250'.

## Consistency with Zoning Code, Comprehensive Plan, and Surrounding Uses

The property is zoned Community Design District (CDD). A zoning permit approved by the Plan Commission is required for any new construction, substantial relocation, substantial enlargement of any building, or for any new use or change of use. All zoning permit requests in the CDD district are forwarded to the Plan Commission for review and approval.

The Plan Commission must also review the plans for consistency with Appendix A of the Zoning Code for parking lot, landscaping, and lighting standards, building and signage design elements, and other sections that apply including the Stormwater and Erosion Control Ordinance.

## Lighting

A photometric lighting plan has been submitted showing the locations of 5 wall pack fixtures. Fixture specifications have also been submitted. The lighting plan shall adhere to the standards of Appendix A, which require that lights at the property line not exceed an intensity of 3 foot candles. The photometric plan shows that this requirement has been met. The applicants state that the LED lights are downward facing and will not cause glare.

## Landscaping

A landscaping plan has been submitted on Sheet L2. With the new building additions, the existing substantial wooded area to the west of the existing building will need to be removed. The plans and photos submitted show this wooded area. Sheet L1 shows locations of new plantings, while the supplemental table from McKay nursery outlines species and quantities.

Landscaping requirements are on a points based system, depending on the number of parking stalls, and are listed in Appendix A of the Code. Wiedenbeck has 19 parking spaces on site requiring 2 canopy trees and 15 points per stall of 285 points. The applicants are providing at least 442 new landscaping points, meeting this requirement.

Landscaping has been added to the west building elevation above the 442 points noted above. The revised sheet L1 shows the addition of 12 sea green juniper, 6 quick fire hydrangea, and 2 forest rouge viburnum trees.

### **Building Design**

Section 13-1-63 Architectural Compatibility states: No building shall be permitted if any exposed façade is not constructed or faced with a finished material, which is aesthetically compatible with the other facades and presents an attractive appearance to the public and to the surrounding properties. The building additions will both be metal buildings matching the exterior of the existing building. The type of building is consistent with the existing property and surrounding properties.

At the 6/13/16 prehearing conference, the Plan Commission either requested addition of a higher standard of building material, such as a base of block, or the addition of landscaping to help break up the mass of a metal façade. Landscaping has been added as shown on the submitted plans to the building's west elevation.

At the 6/13/16 prehearing conference, the Plan Commission discussed concerns with the two additions being completed in phases. If the second addition (garage) were not constructed, then there would be greater visibility of loading docks and truck areas from South Towne Drive due to removal of an existing wooded lot. The applicants state in the 6/23/16 letter that the garage additional will move forward with the larger addition.

### **Department Head Review**

Plans were distributed to City Department Heads for their review. Comments from the Fire Chief and Public Works Director have been incorporated into this staff review.

### **Engineering Review**

A letter from Vierbicher Associates dated 6/7/2016 is attached, which reviews the site layout and grading, utilities, erosion control, stormwater management, erosion control, and vehicle circulation. A response letter has been submitted by Quam Engineering dated 6/17/16. Staff has communicated with Darrin Pope who noted that most of the comments appear to have been addressed in the revised submittal. Final comments shall be addressed as noted in the recommended conditions of approval and summarized below. New information has been submitted regarding dry ponds and additional modeling will need to be reviewed by Darrin Pope prior to issuance of permits. Vierbicher was unable to provide a revised review letter prior to the meeting but communicated with Staff via phone.

#### **Site Layout and Grading:**

- Detailed comments have been addressed in the 6/17/16 letter from Quam Engineering.
- The storm sewer should be located on the owner's parcel and not in the city's right-of-way near South Towne Drive. This has been confirmed with the Public Works Director. The applicant revised plans show the storm sewer pipe removed from city ROW. A small amount of riprap remains in ROW and the Public Works Director has confirmed this is acceptable.

- Existing impervious area is 46.9% impervious. Proposed impervious space is 66.0%. Appendix A of the zoning code requires all sites to be covered in at least 30% greenspace. The proposed site provides 34.0% pervious space.

Utilities:

- Addition of a private hydrant is required. The location is shown on the utility plan. The utility plan shows the lateral being tapped into the water main with an 8" pipe, however, the Fire Chief has authorized a 6" pipe tapped into the existing lateral. If for some reason the pipe is tapped in Kilgust then City of Monona patching standards and a ROW permit shall apply.

Erosion Control:

- Detailed comments have been addressed in the 6/17/16 letter from Quam Engineering.

Stormwater Management:

- Applicants will submit DNR WRAPP Permit which is required due to amount of land disturbance.
- Sediment control accounted for in the regional off-site stormwater management basin for the City's South Towne business park.
- Oil & Grease Control measures not required.
- Runoff rate control accounted for in the regional basin.
- Dane County Recorded Stormwater Maintenance Agreement required prior to building permits.
- A stormwater report that supports the proposed stormwater management features comply with the ordinance requirements shall be submitted prior to issuance of an Erosion Control and Stormwater Management Permit.

Vehicle Circulation:

- No issues.

# City of Monona – Public Works & Utilities

5211 Schluter Road  
Monona, Wisconsin 53716  
Phone: 608-222-2525  
Fax: 608-222-9225  
Website: [www.mymonona.com](http://www.mymonona.com)



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## Monona Road Patching Requirements

### Length of Patch:

- Minimum 50' long
- Minimum 15' beyond the excavation
- Where multiple patches are created and the separation between them is less than 100' the patches shall be combined in to one single patch
- The patches may be adjusted in the field by the director or right of way inspector to meet special conditions such as previous paving or patching limits.

### Width of Patch:

- Street width up to 24' wide, patch entire width
- Street width 25' – 37' wide, patch one-half the street width, curb to centerline
- Street width greater than 38' wide, patch entire lane for each lane disturbed by excavation
- Divided Roads and One-Way Streets up to 19' wide, patch entire street width
- Street width 20' and greater, patch entire lane for each lane disturbed by excavation
- The width of patches limit may be adjusted in the field by the director or right of way inspector to correspond with painted centerline in situations where painted centerline is not in the center of the street

Developer/contractor is responsible for securing a professional pavement marking contractor to properly restore any pavement marking damaged by excavations.

June 23, 2016

Sonja Reichertz, AICP  
City Planner & Economic Development Director  
City of Monona  
5211 Schluter Road  
Monona, WI 53716

Please accept this letter and attached documents as a supplement to our original request. I believe we have addressed all of the concerns raised in the Plan Commission meeting of Monday, June 13 and all concerns raised by Darrin Pope of Vierbicher.

### **Scope of Work**

We have decided that if we move forward with our building expansion we will include the optional garage as part of the addition. Please review our revised drawings knowing the garage will be included.

### **Supplemental Information/Modifications Planned**

Several modifications were required based on the feedback received from the City of Monona Planning Commission. We met with Ryan Quam, Quam Engineering, LLC, Mary Beth Growney Selene, Ryan Signs, and several plumbing, electrical, and landscape contractors and have addressed all concerns as follows:

- Building corner contours are too steep and some contours were crossed - contours have been modified. See attached revised Grading and Erosion Control Plan.
- The Grading and Erosion Control Plan does not include pervious and impervious areas as well as the percent impervious areas - These have been added. Please see the attached revised Grading and Erosion Control Plan.
- The plan commission is OK with extending the storm sewer into the right-of-way of South Towne Road such that the invert elevation of 860.00 day-lights in the existing ditch. An end section with pipe grate and rip-rap is still needed for the discharge - The revised Grading and Erosion Control Plan is attached and the storm sewer and most of the riprap has been relocated to be outside of the right-of-way. The plan shows minor grading within the right-of-way to daylight the storm sewer but the grading is not in the area of marked utilities.
- It should be determined if the ditch on the east side of South Towne Drive eventually discharges to the industrial park's regional stormwater management basin or to the

wetlands prior to reaching the basin. If the ditch discharges directly to the wetlands (does not reach the basin) then on-site treatment for sediment and rate control will be needed. The determination should be made jointly between Quam Engineering and Vierbicher - A site visit was done and it appears that the ditch drains directly to the wetland. The attached revised Grading and Erosion Control Plan indicates a proposed north pond and proposed south pond to provide on-site treatment for sediment and rate control.

- A Construction Site Erosion Control Permit (WRAPP / NOI) will be needed from the WDNR since land disturbance is greater than one acre. The applicant is reminded that the WDNR now requires wetland screening as part of the permit application process. Chris Homburg mentioned that the WDNR is taking more review time than before this new requirement and this may impact the project schedule - The Wisconsin DNR WRAPP will be submitted to the WDNR this week. I do not believe that the WDNR will cause any wetland screening delays because the Wisconsin DNR Watershed Viewer Map shows nearby hydric soils and wetlands are not mapped on this property.
- The need for erosion control at the snow storage location should be reviewed by Vierbicher - The revised Grading and Erosion Control Plan is attached and silt fence has been added downstream of the grading at the snow storage location
- A KnoxBox must be added to the building - Contractors have been notified that a KnoxBox is required.
- There is a discrepancy in the square footage for the garage - the correct square footage is 4.890 square feet. The documents have been changed to accurately reflect the correct number.
- A private fire hydrant is needed - A hydrant has been added to the Utility Plan and Scott Sullivan, Monona Fire Chief, is allowing a variance for 6" pipe instead of 8" and is allowing us to tap into the existing lateral.
- With the removal of the trees to the west, our building will now be visible from South Towne Drive. Landscaping needs to be added to for aesthetic purposes - landscaping has been added to the West elevation, a new landscape plan is attached.
- There was a concern that a glare will be produced by the LED lights - The electrical contractor has chosen LED lights that are downward facing and will not be reflecting off anything other than asphalt and grass. He has assured me that the lights chosen will provide no glare in this circumstance.
- Remove asphalt that is on Gordon Flesh property next to curve - we have removed this asphalt - see revised plans. Since revision we have discovered that we have an addition to our plat and have confirmed this with Accurate Appraisal, LLC. They have confirmed that we have an additional 5' strip along the north lot line, parcel #071030421334, lot #3. Maps are attached for your reference. We will make sure that none of our new asphalt infringes on Gordon Flesh property.

- Building ratios of our proposed sign for our west elevation must be in proportion to the sign on the west elevation of Gordon Fresh - ratios have been provided by Ryan Signs and are attached for your review.
- The MMSD sanitary sewer is old and brittle. Care must be taken to make sure it is not damaged during construction - Contractors have been notified of its existence and will notify MMSD of our construction schedule. In addition, the only item affecting this portion of the property is the replacement of the existing asphalt - this contractor will be reminded when that portion of the construction begins.

### Summary

We ask the City of Monona to please again review our request with the revisions made as requested. We hope you find these plans acceptable and allow us to move forward with construction.

Thank you,

A handwritten signature in black ink, appearing to read "Jane Young". The signature is written in a cursive, flowing style.

Jane Young  
Wiedenbeck, Inc.

# Ryan Signs, Inc.

3007 Perry Street  
Madison, WI 53713  
Phone 608-271-7979  
Fax 608-271-7853  
mbgrowneyselene@ryansigns.net

June 23, 2016

**TO:** City of Monona  
Plan Commission Members

**FROM:** Mary Beth Growney Selene  
Serving as Agent for Wiedenbeck, Inc.  
2451 Kilgust Road

**RE:** **SIGNAGE COMPARATIVES BETWEEN WIEDENBECK, INC. and GORDON FLESCH COMPANY, INC.**

Dear City of Monona Plan Commission Members:

At your meeting of June 13, 2016, you referred the Wiedenbeck, Inc. signage approval. You requested more information as to how the west elevation signage related in size to the Gordon Flesch Company, Inc. west elevation sign.

In a comparison of the building we determined the following:

<b><u>WIEDENBECK, INC.</u></b>	Building Surface Square Footage	4,408	sf2
	Sign Area	212.50	sf2
	% of Surface Area to Sign Area	.048	%
<b><u>GORDON FLESCH COMPANY, INC.</u></b>	Building Surface Square Footage	6400	sf2
	Sign Area	280	sf2
	% of Surface Area to Sign Area	.044	%

We hope this comparative analysis meets with your approval. We will be available to answer any questions you might have.

Thank you for your consideration.

Respectfully Submitted,

  
\_\_\_\_\_  
Mary Beth Growney Selene  
President  
Servicing as agent for Wiedenbeck, Inc.



7017071030380030

7025

071030380405

071030421432

Lot 3

2501

Lot 14  
1,000 sq

071030384607

7029

071030421549

**INDUSTRIAL ADDITION TO SOUTH TOWNE PLAT**

Lot 4  
2,300 sq

2451

327.88'

Lot 5  
1,118 sq

2451

071030421656

0710304900007300

071030386409

7800



June 17, 2016

**Vierbicher & Associates**

Attn: Darrin Pope  
999 Fourier Drive, Suite 201  
Madison, WI 53717

Re: 2451 Kilgust Drive Building Addition - City of Monona

Dear Mr. Darrin Pope,

Enclosed is the revised existing, site, and grading/erosion control plan set for The Kilgust Drive Building Addition for Wiedenbeck, Inc. The plans have been revised to address comments contained in your letter dated June 7<sup>th</sup>. The responses to comments are as follows:

*SITE LAYOUT AND GRADING*

- *The existing conditions pervious and impervious areas as well as the percent impervious area should be indicated on the "Existing Site Plan".*  
**Impervious areas have been added to the Existing Site Plan.**
- *The proposed conditions pervious and impervious areas as well as the percent impervious area should be indicated on the "Grading & Erosion Control Plan".*  
**Pervious, impervious, and percent impervious area notes have been added to the Grading & Erosion Control Plan.**
- *The submitted erosion control and stormwater management permit application mentions that five new parking spaces are proposed. However, the plans do not show the proposed parking stalls. The plans should be revised to show the locations and dimensions of the proposed parking stalls.*  
**There are no proposed parking stalls.**
- *The proposed pavement structure should comply with the requirements of Section V.(a) of Appendix A - Site Design Standards for Parking, Landscaping and Lighting, Title 13 of the City's Code of Ordinances. The plans should be revised to show the proposed pavement structure.*  
**The note "PAVEMENT SHALL CONSIST OF 10" CRUSHED AGGREGATE, 2" ASPHALT BINDER, AND 1 1/2" ASPHALT SURFACE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTION V.(A) OF APPENDIX A - SITE DESIGN STANDARDS FOR PARKING, LANDSCAPING, AND LIGHTING, TITLE 13 OF THE CITY'S CODE OF ORDINANCES." has been added to the Site Plan.**
- *There are two spot elevations (864.65 & 863.45) just north of the proposed north overhead door that do not seem to fit with the proposed 864 & 865 contours. These spot elevations and contours should be coordinated.*  
**The contours have been modified to fit with the proposed spot elevations.**

- *The 867 contour crosses the 866 & 865 contours just west of the north overhead door of the proposed addition. The grading plan should be revised to eliminate these contours from crossing.*

**The contours in this location have been revised.**

- *There is a drainage swale just north of the proposed addition that has segments with 1.5%, 0.86% and 1% slopes. It is recommended that the spot elevations and contours along this swale be changed to provide a uniform slope equal to at least 1%.*

**The contours in this area have been revised to incorporate the North Pond.**

- *The plans show a proposed spot elevation of 860.00 at the southwest end of the proposed 12" HDPE storm sewer. This elevation is two feet lower than the existing elevation at this location. Additional grading will be required to facilitate drainage from this proposed storm sewer. Also, the end of this storm sewer appears to be proposed in the South Towne Drive right-of-way. It is recommended that proposed private storm sewer and grading be located on the owner's parcel and not in the city's right-of-way.*

**The storm sewer has been rotated to be within the owner's parcel. Contours have been added to show the grading at the outfall.**

- *There is a proposed drainage swale south of the south proposed building addition with a slope of 0.86%. It is recommended that the slope of this swale be revised to at least 1% to provide adequate drainage.*

**The contours in this area have been revised to incorporate the South Pond.**

- *Downspout discharge locations should be added to the plans.*

**Gutter and a downspout have been added along the north edge of the building as shown on the Grading and Erosion Control Plan and Utility Plan.**

- *A maximum slope of 3:1 is recommended, 4:1 is preferred for grassed areas. There appear to be slopes steeper than 3:1 at the following locations:*

*a. Southwest corner of the proposed south building addition.*

**The slopes at the southwest corner are not steeper than 3:1.**

*b. Southeast corner of the proposed south building addition.*

**The slopes at the southeast corner are not steeper than 3:1.**

## UTILITIES

- *Existing and/or proposed private hydrants on the site should be shown on the plan.*

**The existing and proposed hydrants are included on the attached Utility Plan.**

- *Per Section 15-4-11 of the City of Monona Code of Ordinances: If any portion of the proposed building is greater than three hundred (300) feet from the municipal hydrants, the owner shall install at his or her own expense approved fire hydrants. One (1) hydrant shall be provided around the perimeter of the building so that no hydrant is more than four hundred (400) feet from any other*

*approved hydrant measured by normal access routes. There is an existing municipal hydrant in front of the property, but it does not appear to be within 300' of all areas of the proposed building addition. The addition of a site hydrant will be needed to meet these ordinance requirements.*

**The Utility Plan includes tapping valve, water main, and hydrant construction details.**

- *A minimum of four (4) feet of clear space must be provided around the fire hydrants, and the hydrants should be protected from vehicles by concrete filled bollards or similar protective devices.*

**The Utility Plan includes this note in the Utility Notes area.**

- *Section 15-4-11 requires private water mains between private hydrants and the municipal water main to be no less than eight (8) inches.*

**The Utility Plan indicated proposed 8" water main.**

- *Hydrant and gate valve details should be added to the plans to show the use of valve box adaptors, valve boxes, concrete blocking, joint restraint, etc., to ensure compliance with the "City of Monona Material Standards". The hydrant detail should include a note that requires the drain ports to be plugged if groundwater is expected to be above the drain ports.*

**The Utility Plan includes this note in the Utility Notes area.**

- *The storm sewer manhole and curb inlet notes should be revised to include sumps with an 18" minimum depth per the "City of Monona Material Standards".*

**The Grading and Erosion Control Plan has been revised to include an 18" sump for catch basin #1 and inlet #2.**

- *The plans should be revised to show an endwall at the proposed storm sewer discharge.*

**The Grading and Erosion Control Plan has been revised to include an endwall.**

### EROSION CONTROL

- *The Stone Construction Entrance detail should be changed to show a minimum width of 24 feet (the full width of the egress point), and WisDOT Type R geotextile fabric underling the stone tracking pad per the "Stone Tracking Pad" requirements of the Dane County Erosion Control and Stormwater Management Manual.*

**The Grading and Erosion Control Plan and detail have been revised to show the stone construction entrance having geotextile fabric underlying the stone and a width of 24 feet.**

- *There is a gap in the silt fence/silt sock along the west side of the property. The plans should be revised to show a continuous span of silt fence or silt sock along the west property line.*

**The silt fence has been extended to show a more continuous span. A rock check dam is shown at the storm sewer outfall in lieu of silt fence/sock.**

- *A silt sock installation details should be added to the plans.*  
**The detail has been added to the Site Plan.**
- *The erosion control plan should include inlet protection for on-site and nearby off site inlets.*  
**A rock check dam is proposed upstream of Catch Basin #1 and the south pond outfall. Additionally, Type D inlet protection is proposed for inlet #2. There are no off site inlets immediately downstream of the disturbance.**
- *An inlet protection detail should be added to the plans for each type of inlet protection to be installed.*  
**The Type D Inlet Protection detail has been added to the Site Plan.**
- *The length, width and depth of the rip-rap pads, as well as the rip-rap stone size, should be indicated on the Plans for all storm sewer outfall.*  
**The medium riprap with fabric dimensions are shown on the Grading and Erosion Control Plan and the detail has been added to the Site Plan.**
- *A storm sewer outfall rip-rap detail should be added to the plans.*  
**The riprap detail has been added to the Site Plan**
- *The “Rock Check Dam” detail should be revised to show geotextile fabric Type R beneath the rock check to protect it from being undercut.*  
**The plans and detail have been changed to show the Rock Check Dam having geotextile fabric underlying the rock.**
- *If proposed grading in areas with slopes steeper than 3:1, as mentioned in 1. above, cannot be revised to reduce these slopes then erosion mat, sod, rip-rap, grouted rip-rap or pavement should be added to these areas in compliance with the WDOT FDM Slope Erosion Control Matrix.*  
**There are no proposed slopes steeper than 3:1.**

### STORMWATER MANAGEMENT

- *Sediment Control: Section 15-2-13(a)(2)(a): “For redevelopment resulting in exposed surface parking lots and associated traffic areas, design practices to retain soil particles greater than 20 microns on the entire site (40% reduction) resulting from a one-year 24-hour event, according to approved procedures, and assuming no sediment resuspension. Under no circumstances shall the site’s existing sediment control level or trapping efficiency be reduced as a result of the redevelopment.”*

*Review Comments: This property is located in the City's South Towne business park which has a regional off-site stormwater management basin. Per documents provided by the City from their files, the regional basin provides the ordinance required sediment (TSS) control for all properties in the South Towne business park.*

**The Grading and Erosion Control Plan has been revised to include a North Pond and South Pond to address sediment and rate runoff control. Stormwater calculations will be provided in a separate submittal.**

- Oil & Grease Control: Section 15-2-13(a)(2)(b): “For all stormwater plans for commercial or industrial developments and all other uses where the potential for pollution by oil or grease or both, exists, the first 0.5 inches of stormwater runoff must be treated using the best oil and grease removal technology .

Review Comments: The potential for pollution by oil or grease or both is currently interpreted by Dane County Land Conservation Staff to exist when 40 or more parking spaces are to be added. The submitted plans indicate that five new parking stalls will be added. Therefore, oil and grease control would not be required considering the “addition of 40 parking spaces” criteria.

**It is my understanding that this comment requires no action.**

- Runoff Rate Control: Sections 15-2-13(a)(2)(c) & (cm). All runoff calculations shall be according to the methodology described in Section 15-2-13(a)(2)(c) of the City of Monona Code of Ordinances. These runoff rate control design standards also apply to redevelopment sites per Section 15-2-8(4) of the City of Monona Code of Ordinances. “Predevelopment” is interpreted as the existing site conditions.

Review Comments: This property is located in the City's South Towne business park which has a regional off-site stormwater management basin. Per documents provided by the City from their files, the regional basin provides the ordinance required runoff rate control for all properties in the South Towne business park.

**The Grading and Erosion Control Plan has been revised to include a North Pond and South Pond to address sediment and rate runoff control. Stormwater calculations will be provided in a separate submittal.**

- Outlets: Section 15-2-13(a)(2)(d). Discharges from new construction sites must have a stable outlet capable of carrying designed flow, as required in iii above, at a non-erosive velocity. Outlet design must consider flow capacity and flow duration. This requirement applies to both the site outlet and the ultimate outlet to stormwater conveyance or waterbody. These outlet standards also apply to redevelopment sites per Section 15-2-8(4) of the City of Monona Code of Ordinances.

Review Comments:

1. Calculations showing the outlet velocity for the 10-year, 24-hour storm event (4.2 inches over 24 hour duration) need to be submitted.
  - **The rational method worksheet is attached.**

2. Calculations for the length, width and depth of the rip-rap pads, and rip-rap stone size per the Stone Outlet Protection chapter of the Dane County Erosion Control & Stormwater Management Manual should be submitted for review.
  - **The riprap sizing worksheet is attached.**

- Infiltration: Section 15-2-13(a)(2)(e). All downspouts, driveways and other impervious areas shall be directed to pervious surfaces, where feasible, or unless the applicant can demonstrate that the practice is likely to result in groundwater contamination. These infiltration standards also apply to redevelopment sites per Section 15-2-8(4) of the City of Monona Code of Ordinances.

*Review Comments: The plans should indicate where roof run-off is to be directed so that it is infiltrated.*

**Additional drainage arrows have been added for clarification and the roof water is draining to a proposed vegetated ditch.**

#### EROSION CONTROL AND STORMWATER MANAGEMENT PERMIT

- *The application should be revised to include an exhibit delineating the storm sewer drainage areas.*  
**The Drainage Basin Map is attached.**
- *A stormwater maintenance agreement including provisions for maintenance of the on-site storm sewer pipe, inlet and catch basin needs to be submitted.*  
**The stormwater maintenance agreement is attached.**
- *See “Stormwater Management Application Checklist” for additional comments.*  
**The revised Stormwater Management Application Checklist is attached.**

#### VEHICLE CIRCULATION

- *Review Comments: It does not appear that the proposed parking and drive areas present any potential problems with vehicle circulation.*  
**It is my understanding that this comment requires no action.**

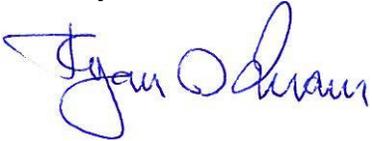
#### ADDITIONAL INFORMATION REQUIRED

- *A letter that addresses comments found above.*  
**Included herein.**
- *Revised plans addressing comments found above.*  
**Included herein.**
- *Revised stormwater management plan addressing comments found above.*  
**Included herein. Stormwater calculations will be submitted separately.**
- *Revised Stormwater Management Application Checklist per comments on the attached checklist.*  
**Included herein.**
- *A Dane County Register of Deeds Office recorded copy of the “Declaration Of Conditions, Covenants And Restrictions For Maintenance Of Stormwater Management Measures” (stormwater maintenance agreement). This agreement should include provisions for maintenance of the on-site storm sewer pipe, inlet and catch basin.*  
**Draft agreement is attached for your review. If everything is satisfactory, please provide your approval and then it can be signed, notarized, and recorded by the Owner.**
- *Please note that per the City’s ordinance, a recorded copy of the stormwater maintenance agreement needs to be provided to the City by the Applicant before an Erosion Control and Stormwater Management Permit can be issued by the City.*  
**Understood.**

- *A revised City of Monona Erosion Control and Stormwater Management Permit Application signed by the Landowner or Applicant, and accompanied by a check in the amount of the review fee, submitted to the City's Public Works Director, Dan Stephany. **These items will be provided by the Owner.***

If you have any questions or comments, please feel free to contact me.

Sincerely,

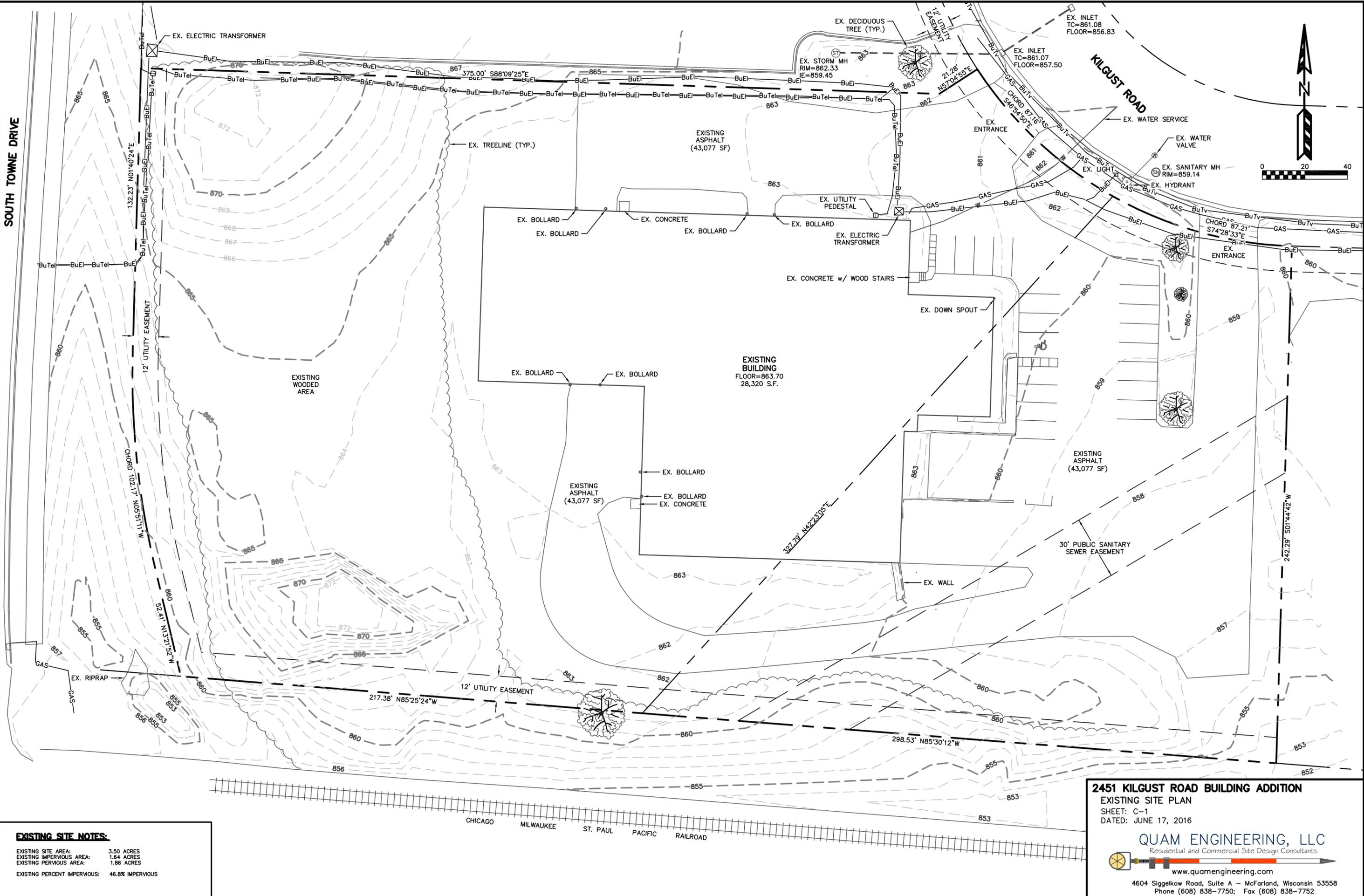


Ryan D. Quam, P.E.

CC: Daniel Stephany - City of Monona Director of Public Works w/ enc. via email  
Jane and Jim Wiedenbeck w/ enc. via email  
Sonja Reichertz w/ enc. via email  
Chris Homburg w/ enc. via email  
Dave Hamby w/ enc. via email  
Brad Brunn w/ enc. via email

FN: SR-14-16

SOUTH TOWNE DRIVE



**EXISTING SITE NOTES:**

EXISTING SITE AREA: 3.50 ACRES  
 EXISTING IMPERVIOUS AREA: 1.64 ACRES  
 EXISTING PERVIOUS AREA: 1.86 ACRES  
 EXISTING PERCENT IMPERVIOUS: 46.8% IMPERVIOUS

**2451 KILGUST ROAD BUILDING ADDITION**

EXISTING SITE PLAN  
 SHEET: C-1  
 DATED: JUNE 17, 2016

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants



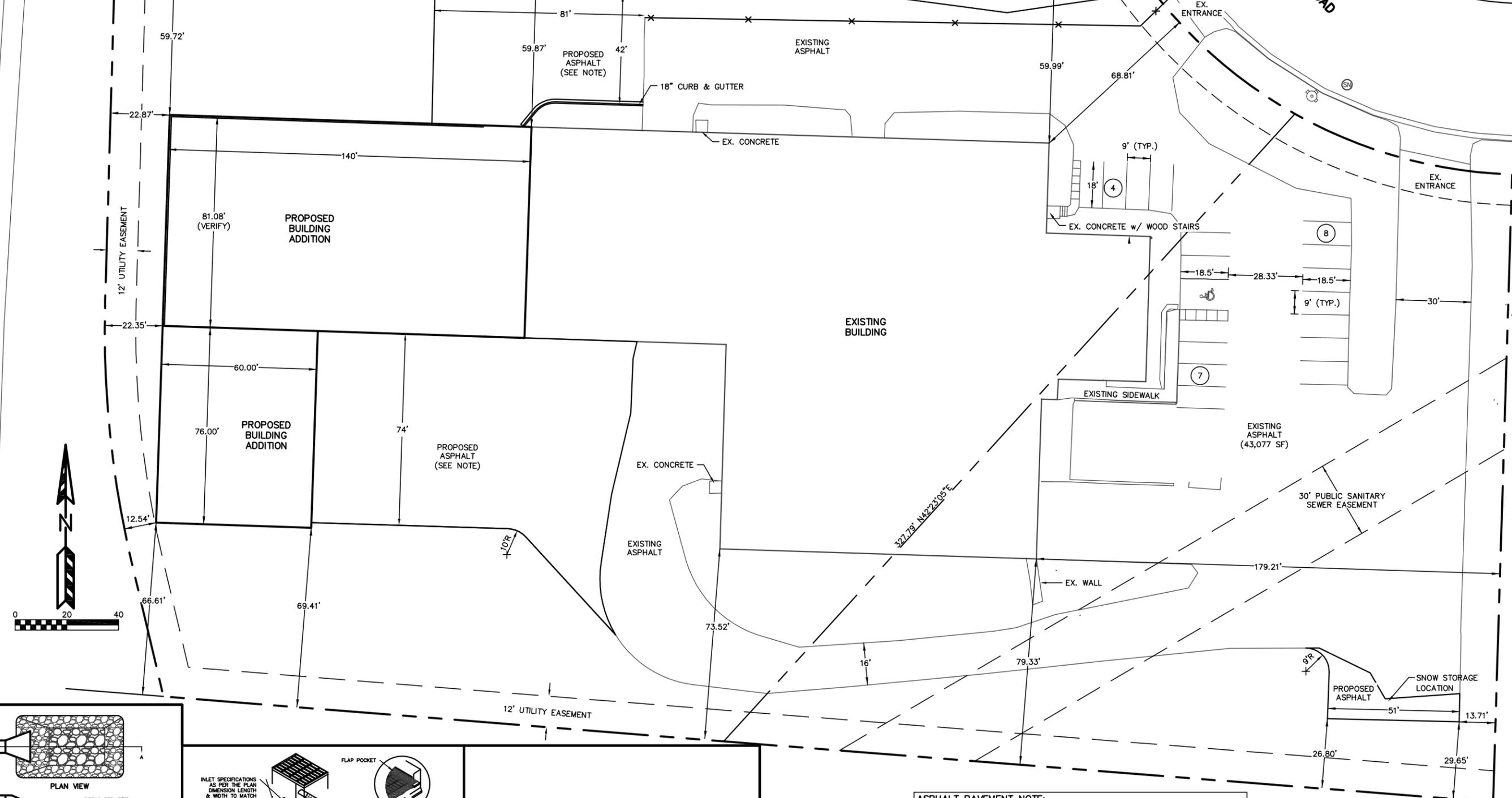
www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

SOUTH TOWNE DRIVE

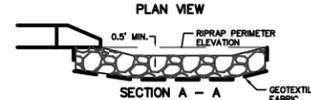
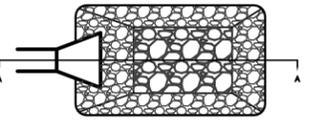
EXISTING SIDEWALK

12' UTILITY EASEMENT

KILGUST ROAD



**ASPHALT PAVEMENT NOTE:**  
 PAVEMENT SHALL CONSIST OF 10" CRUSHED AGGREGATE, 2" ASPHALT BINDER, AND 1 1/2" ASPHALT SURFACE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTION V.(A) OF APPENDIX A - SITE DESIGN STANDARDS FOR PARKING, LANDSCAPING, AND LIGHTING, TITLE 13 OF THE CITY'S CODE OF ORDINANCES.

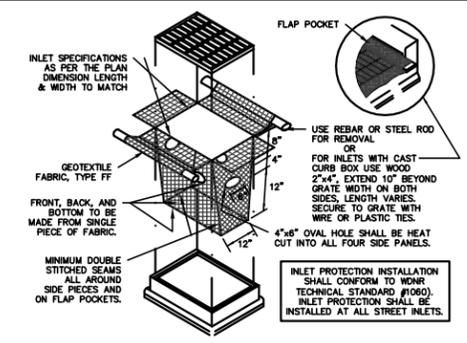


% PASSING BY HEIGHT	SIZE (INCHES)
100	20
50-85	15
20-50	10
5-20	5
0-5	2

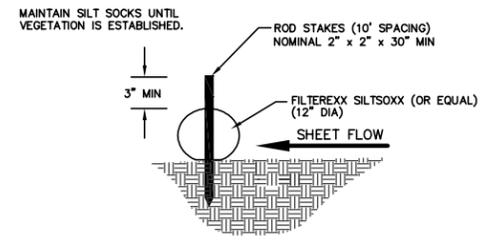
SIZES CALCULATED IN BEST D.S.2

RRIPRAP SHALL BE PLACED AS DEFINED IN SECTION 606 OF MICHIGAN D.O.T. SPECIFICATIONS. STONE PIECES SHALL BE WELL GRADED, RANGING IN DIAMETER AS DESCRIBED IN THE ADJACENT CHART.

RRIPRAP DETAIL



TYPE D INLET PROTECTION DETAIL



SILT SOCK DETAIL

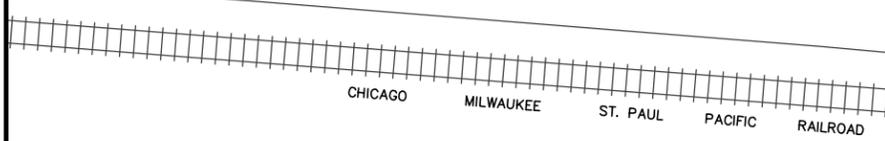
**2451 KILGUST ROAD BUILDING ADDITION**

CIVIL SITE PLAN  
 SHEET: C-2  
 DATED: JUNE 17, 2016

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants



www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

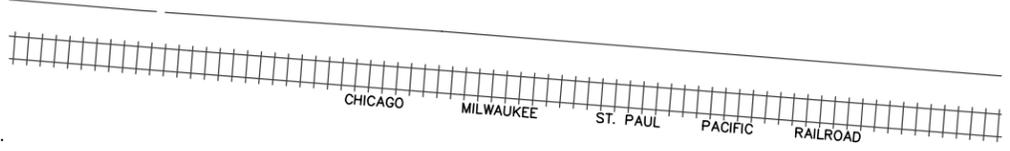
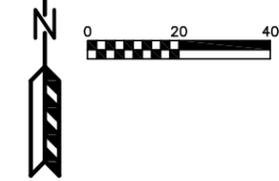
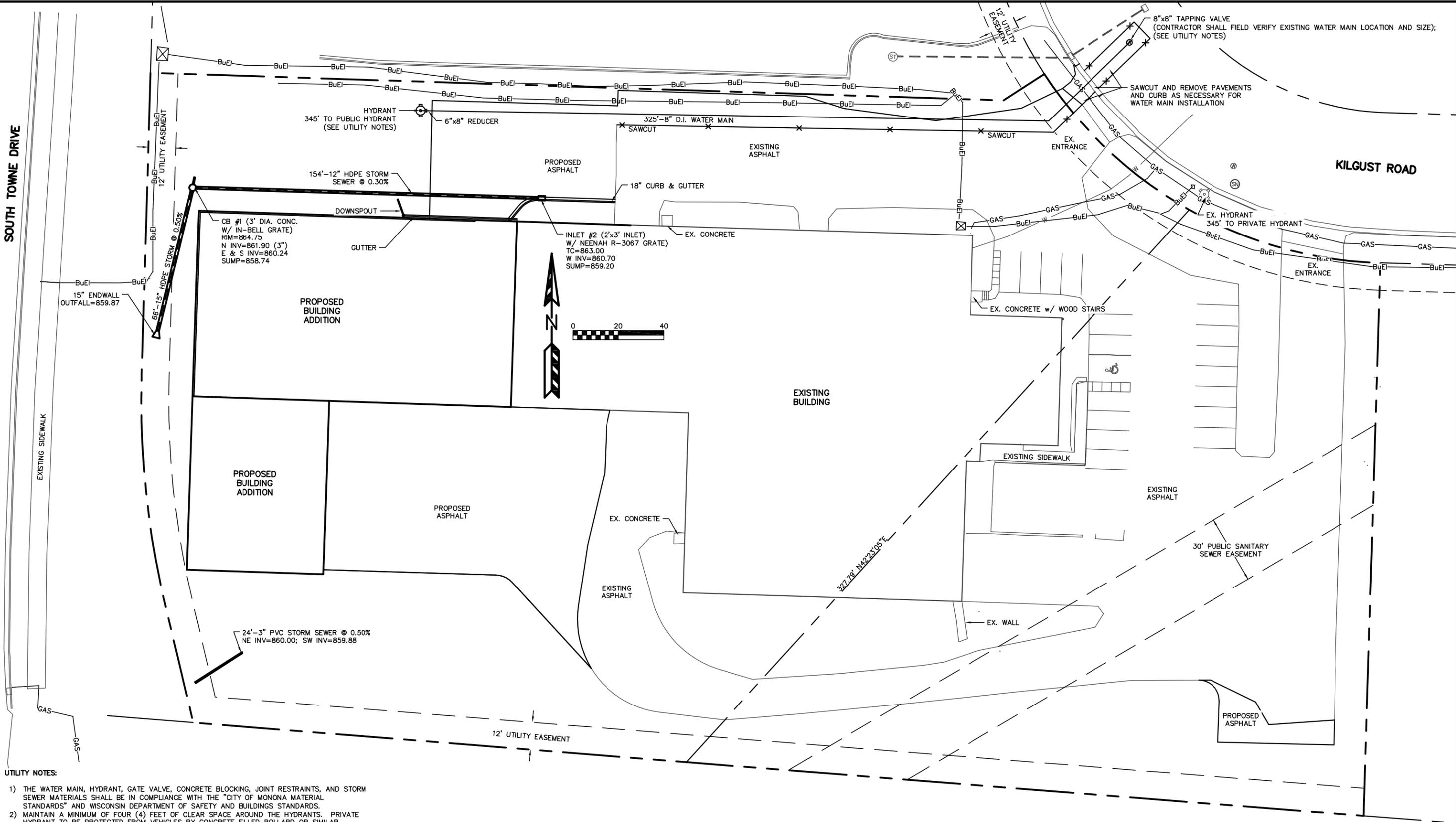


SOUTH TOWNE DRIVE

EXISTING SIDEWALK

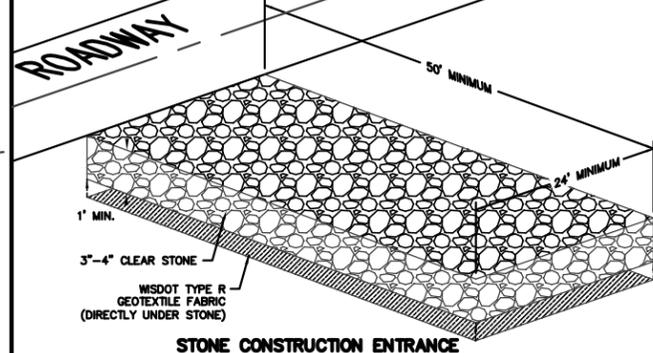
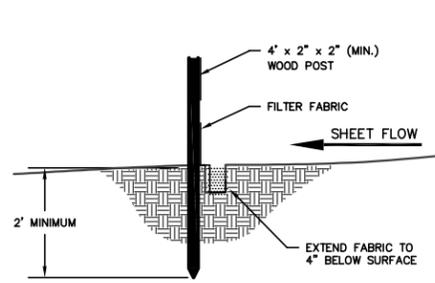
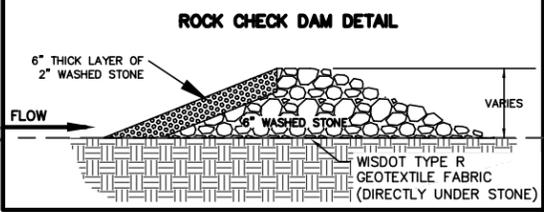
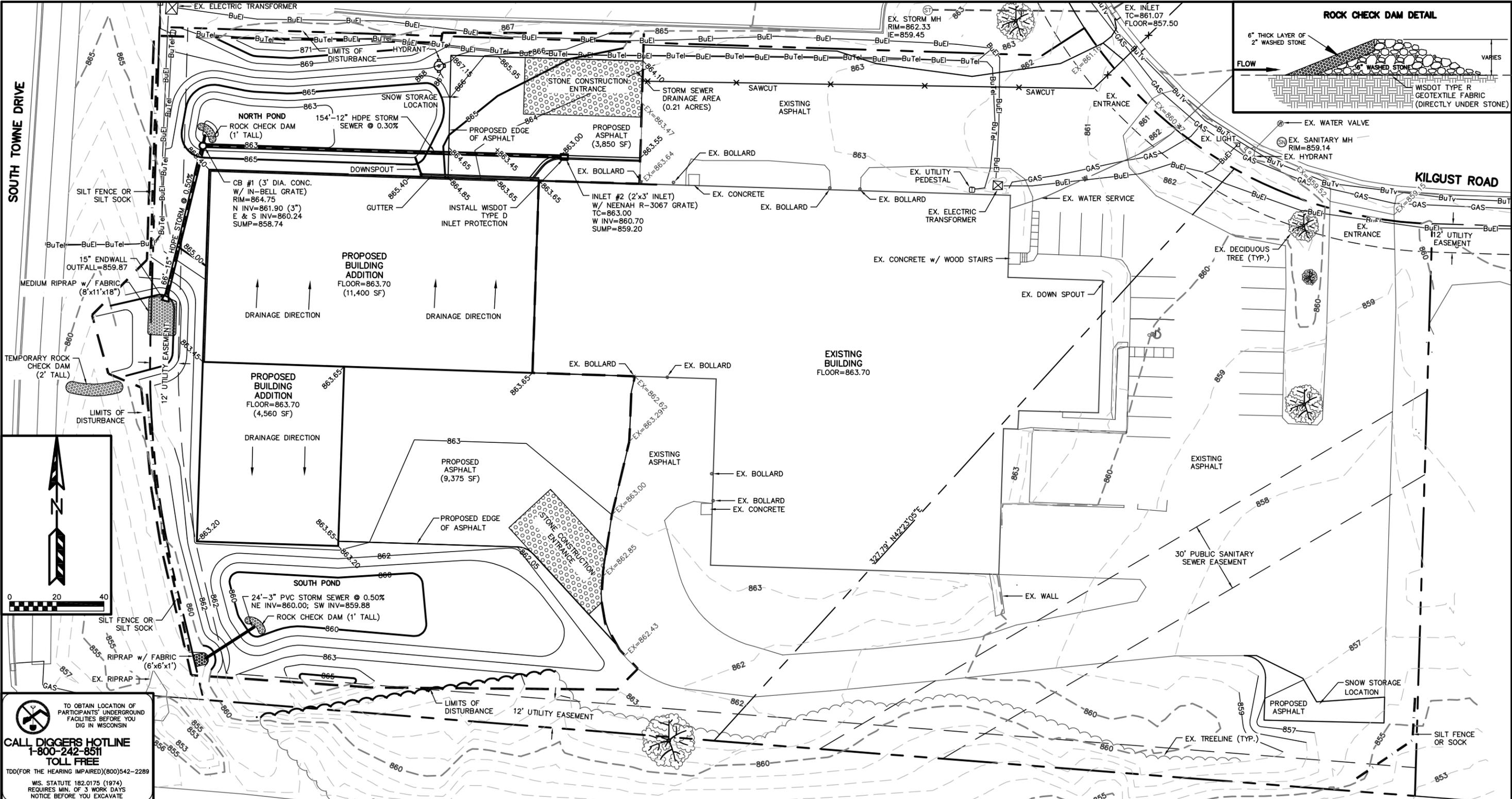
UTILITY NOTES:

- 1) THE WATER MAIN, HYDRANT, GATE VALVE, CONCRETE BLOCKING, JOINT RESTRAINTS, AND STORM SEWER MATERIALS SHALL BE IN COMPLIANCE WITH THE "CITY OF MONONA MATERIAL STANDARDS" AND WISCONSIN DEPARTMENT OF SAFETY AND BUILDINGS STANDARDS.
- 2) MAINTAIN A MINIMUM OF FOUR (4) FEET OF CLEAR SPACE AROUND THE HYDRANTS. PRIVATE HYDRANT TO BE PROTECTED FROM VEHICLES BY CONCRETE FILLED BOLLARD OR SIMILAR PROTECTIVE DEVICE.
- 3) HYDRANT DRAIN PORTS TO BE PLUGGED IF GROUNDWATER IS EXPECTED ABOVE THE DRAIN PORT.
- 4) THE CONTRACTOR SHALL PROVIDE A 72 HOUR NOTICE TO THE CITY WATER UTILITY PRIOR TO MAKING CONNECTION TO THE CITY'S WATER MAIN.
- 5) THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- 6) ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
- 7) EXISTING WATER MAIN LOCATIONS, MATERIAL AND SIZE TO BE DETERMINED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- 8) DISTURBANCE TO KILGUST ROAD PAVEMENT AND CURB AND GUTTER WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY OF MONONA PATCHING CRITERIA.
- 9) THE PROPOSED 8" WATER MAIN CONNECTION TO THE CITY'S PUBLIC WATER MAIN SHALL BE ACCOMPLISHED BY INSTALLING A LIVE TAPPING VALVE SO THE WATER SERVICE TO ADJACENT BUSINESSES IS NOT SHUT OFF.



**2451 KILGUST ROAD BUILDING ADDITION**  
 UTILITY PLAN  
 SHEET: C-4  
 DATED: JUNE 17, 2016

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

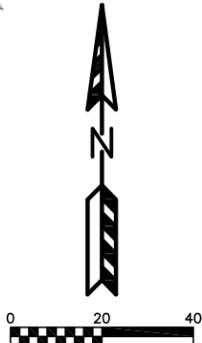
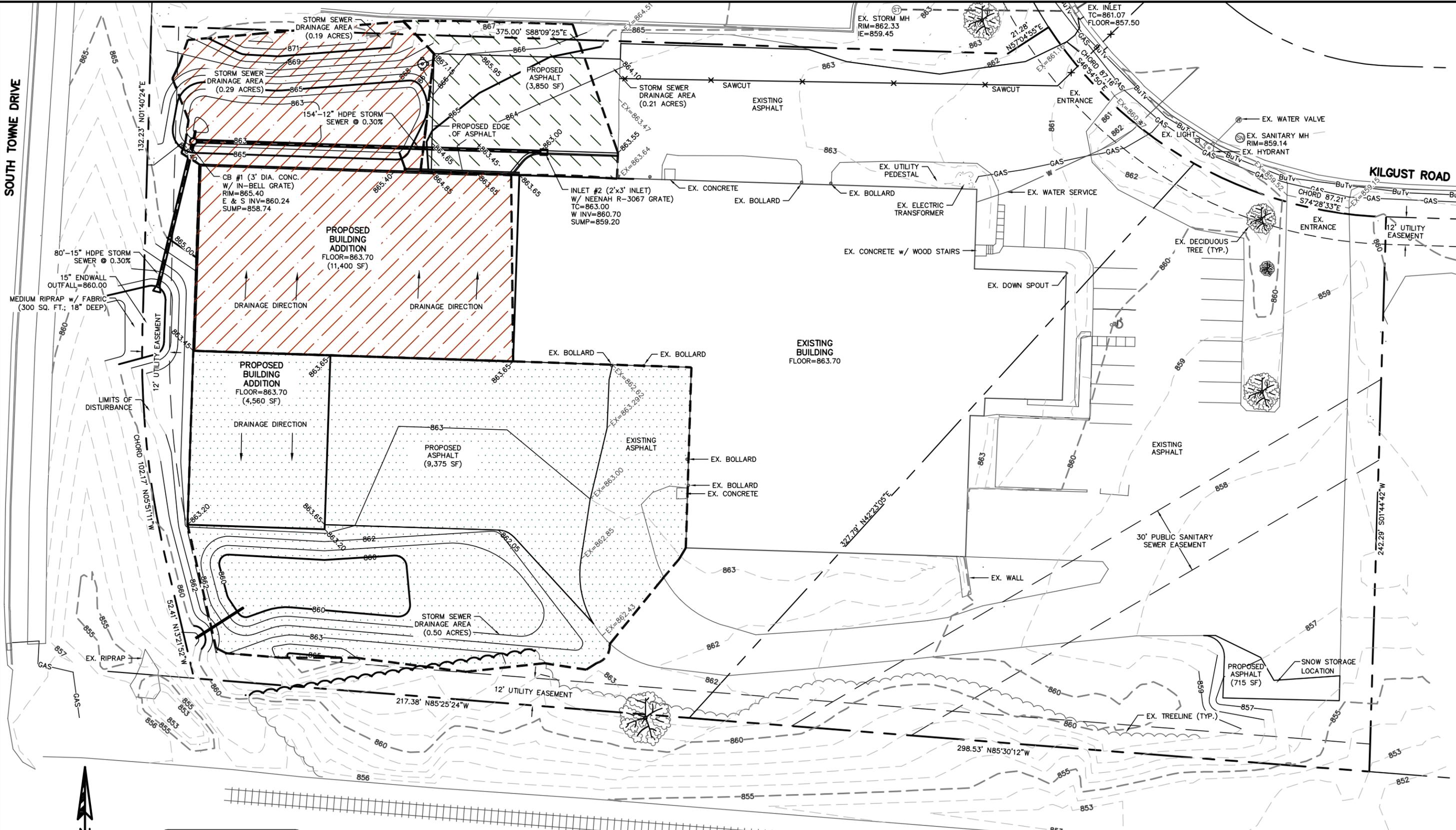
SITE AREA:	3.50 ACRES
EXISTING IMPERVIOUS AREA:	1.64 ACRES
PROPOSED IMPERVIOUS AREA:	0.67 ACRES
TOTAL IMPERVIOUS AREA:	2.31 ACRES
REMAINING PERVIOUS AREA:	1.19 ACRES
PROPOSED PERCENT IMPERVIOUS:	66.0% IMPERVIOUS

**2451 KILGUST ROAD BUILDING ADDITION**  
 GRADING AND EROSION CONTROL PLAN  
 SHEET: C-3  
 DATED: JUNE 17, 2016

**QUAM ENGINEERING, LLC**  
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 Phone (608) 838-7750; Fax (608) 838-7752

SOUTH TOWNE DRIVE

KILGUST ROAD




 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
 WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

**2451 KILGUST ROAD BUILDING ADDITION**  
 DRAINAGE BASIN MAP  
 SHEET: C-5  
 DATED: JUNE 17, 2016

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  

 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

Surface Water Data Viewer

Search...

Basic Tools Identify Tools Drawing Tools Measuring Tools Find Location Maps & Data Help

Find Location Simple Query Show Layers Show Legend Pan Zoom In Zoom Out Point Identify New Plot Clear All Clicked Coordinates Lat: 44.7615 Lon: -89.6394 Lat/Lon (DD) Print Map Print

Map Layers

Layer Theme: Wetlands & Wetland Indicators

Show Layers Filter...

- WT\_Dam\_and\_Floodplain\_WTM\_Ext
  - Dams
    - Dams with FERC License
    - Dams
- WT\_Designated\_Waters\_WTM\_Ext
  - PRF Sensitive Areas of Lakes
  - PRF Other Public Rights Features
  - ASNRI Wild and Scenic Rivers
  - ASNRI Outstanding and Exceptional Streams
  - ASNRI Trout Streams
  - ASNRI Wild Rice Streams
  - ASNRI Quality Wetland Streams
  - ASNRI Endangered Threatened or Special Concern...
  - ASNRI Outstanding and Exceptional Areas
  - ASNRI Quality Wetland Areas

Yahara River and Lake Monona Lower Rock

500ft 200m Lat: Lon: WI Dept of Natural Resources | WI Dept. of Natural Resources, Water E

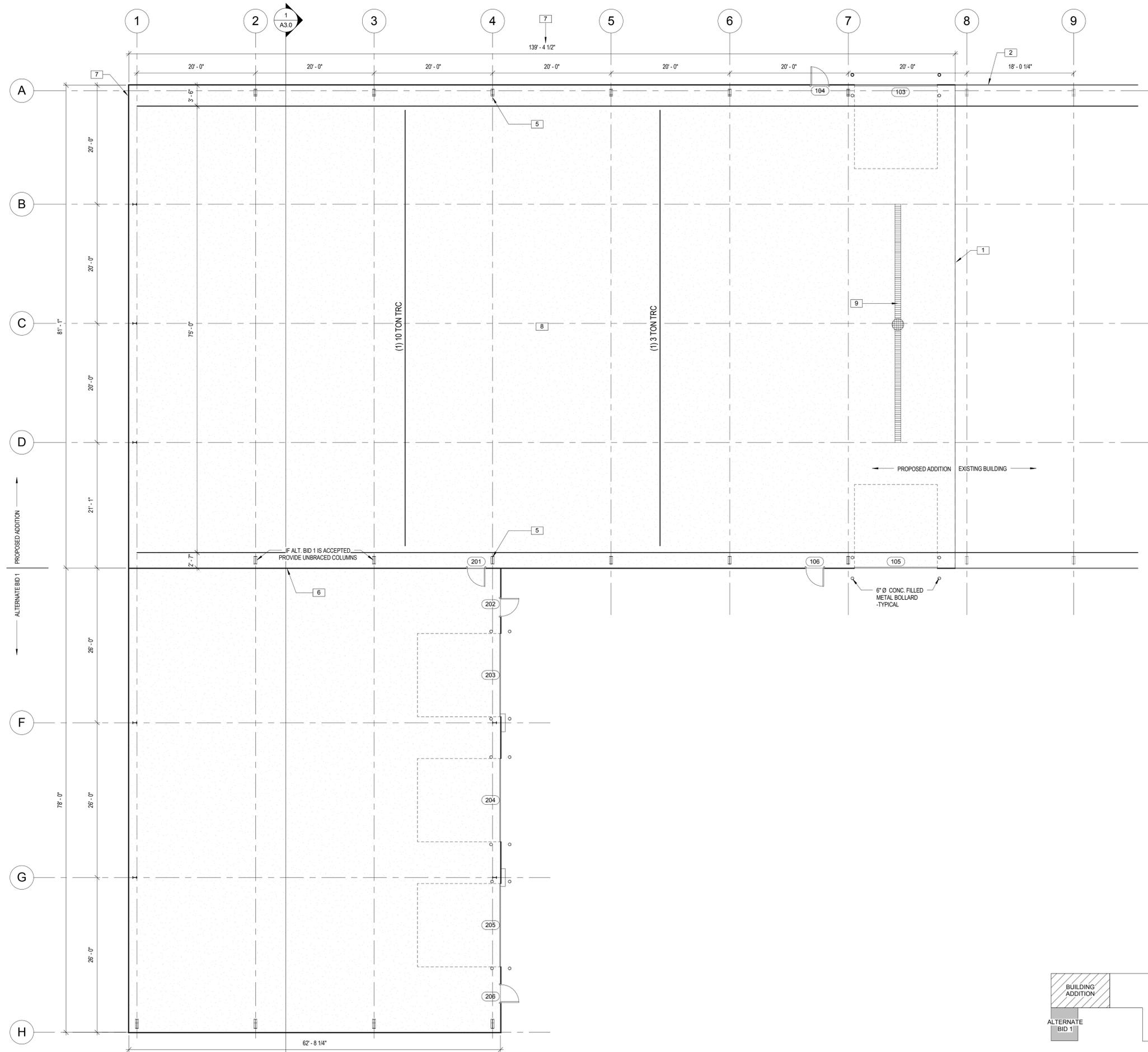
Home Map Layers Terms of Use DNR Website | SWIMS | Comments | 120%



**GENERAL PLAN NOTES:**

1. SEE SHEET A5.0 FOR ALL TYPICAL MOUNTING HEIGHTS AND DOOR CLEARANCES.
2. NOT USED

KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	REMOVE EXISTING ENDWALL PANEL AND FRAMING. SAVE FOR REUSE
2	RE-SHEET SIDEWALL TO MATCH ADDITION (25'-3" E.H.)
3	ENLARGE EXISTING O.H. DOOR FROM 8'x8' TO 14'x14'
4	ADD 3'x7' SERVICE DOOR
5	EXTEND CRANE BEAMS & RAIL. MATCH EXISTING SIZE. VERIFY W16x36 & C10x15.3 RUNWAY.
6	PROVIDE LT GA FRAMING STUDS 600S137-54 @ 16" O.C. FROM G.L.1 TO 4 IF GARAGE ALTERNATE ACCEPTED. TWO HOUR FIRE BARRIER WITH (2) LAYERS 5/8" GYP REQUIRED.
7	TO BE DETERMINED BY BUILDING MANUFACTURERS GIRDER CONDITION ON WEST END OF BUILDING
8	PROCUREMENT AND CONTRACTING REQUIREMENTS
9	TRENCH DRAIN WITH CATCH BASIN



1 PROPOSED BUILDING ADDITION - FLOOR PLAN  
1/8" = 1'-0"

**WIEDENBECK INC.  
BUILDING ADDITION  
2451 KILGUST RD.  
MONONA, WI 53713**

**SHEET TITLE**  
MAIN LEVEL PLAN

**PLAN COMMISSION**  
05.24.2016

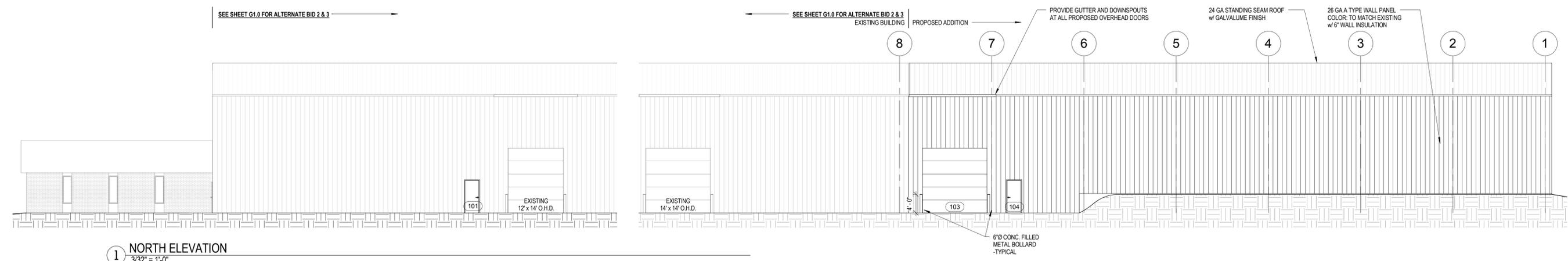
**PROJECT DATA**  
JOB NUMBER: 15198  
DRAWN BY: KJL  
SHEET NUMBER:

**A1.1**

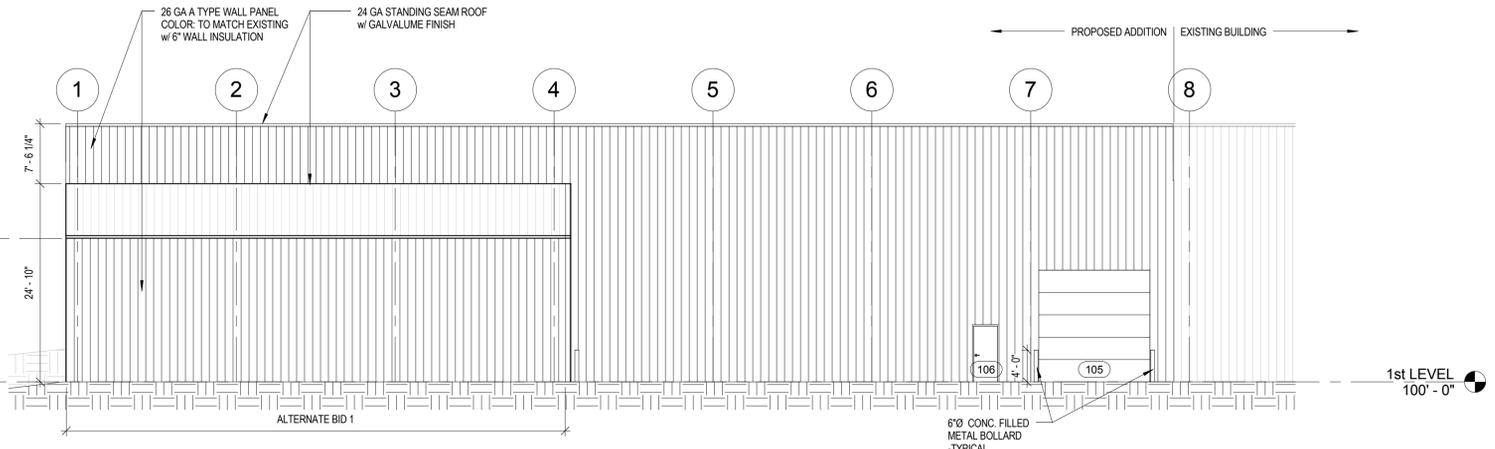
**WIEDENBECK INC.  
 BUILDING ADDITION  
 2451 KILGUST RD.  
 MONONA, WI 53713**

SEE SHEET G1.0 FOR ALTERNATE BID 2 & 3

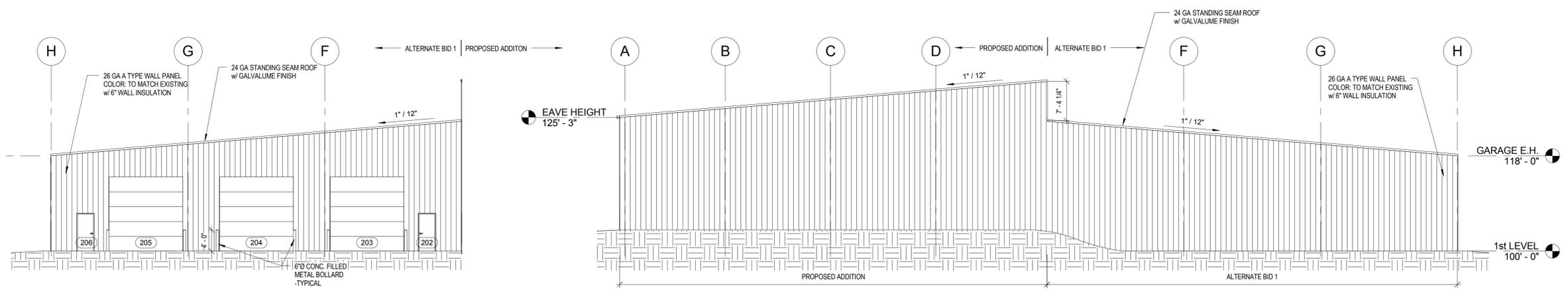
SEE SHEET G1.0 FOR ALTERNATE BID 2 & 3  
 EXISTING BUILDING



1 NORTH ELEVATION  
 3/32" = 1'-0"



2 SOUTH ELEVATION  
 3/32" = 1'-0"



3 ALTERNATE BID 1 EAST ELEVATION  
 3/32" = 1'-0"

4 WEST ELEVATION  
 3/32" = 1'-0"

**SHEET TITLE**  
 EXTERIOR ELEVATIONS

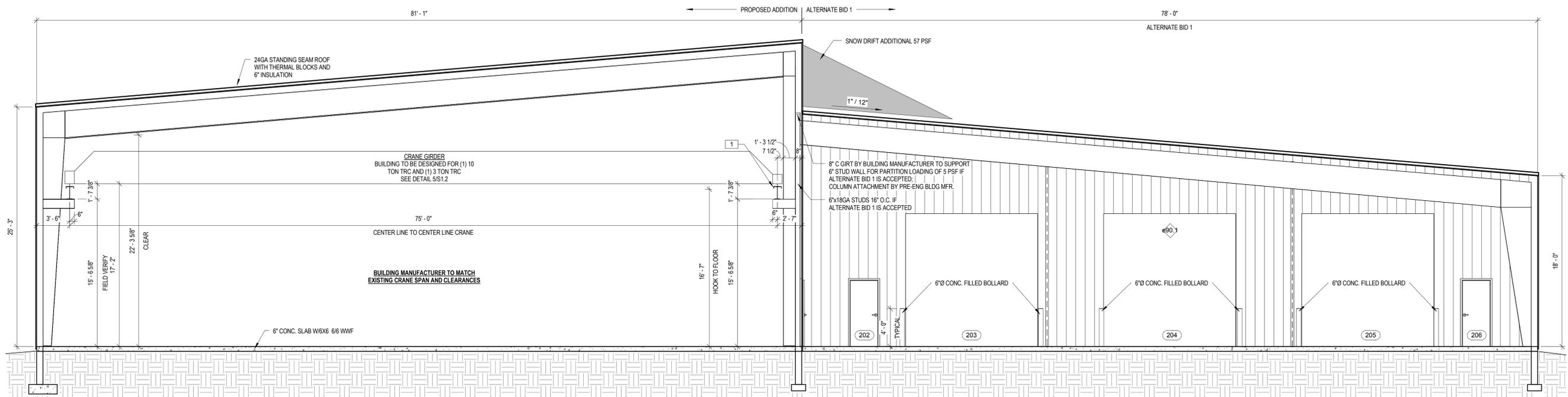
**PLAN COMMISSION**  
 05.24.2016

**PROJECT DATA**  
 JOB NUMBER: 15198  
 DRAWN BY: KJL  
 SHEET NUMBER:

**A2.0**

**WIEDENBECK INC.  
BUILDING ADDITION  
2451 KILGUST RD.  
MONONA, WI 53713**

KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	EXTEND CRANE BEAMS & RAIL. MATCH EXISTING SIZE. VERIFY W16x36 & C10x15.3 RUNWAY.



**1** NORTH/SOUTH SECTION  
3/16" = 1'-0"

**SHEET TITLE**  
BUILDING CROSS SECTION  
**PLAN COMMISSION**  
05.24.2016

**PROJECT DATA**  
JOB NUMBER: 15198  
DRAWN BY: KJL  
SHEET NUMBER:

**A3.0**

**PLAN COMMISSION STAFF REPORT  
CITY OF MONONA**

**MEETING DATE: June 27, 2016  
AGENDA ITEM 5C  
CASE NO. S-016-2016**

**Project:** Recommendation on Sign Permit Request for Wiedenbeck Inc. at 2451 Kilgust Road.  
**Project Address:** 2451 Kilgust Road  
**Applicants:** Mary Beth Growney Selene, Ryan Signs

---

**Proposal Summary:**

Plans have been submitted for a 15,000 SF building addition (about 11,000 SF for a warehouse addition and about 4,000 SF for a garage addition) at Wiedenbeck, Inc., a distributor of metals and industrial supplies located in the South Towne Industrial Park. Ryan Signs, on behalf of Wiedenbeck, Inc., has also submitted permit requests for two new wall signs. One sign is located on the north building elevation near Kilgust Road. The second sign is located on the west elevation, visible from South Towne Drive. Both signs are non-illuminated, individual acrylic cut letters. Sign Code regulations limit this building to a total of 150 SF of wall signage. The submitted letter explains that the applicants are requesting an exception from the maximum square footage limitations for a total of 275 SF.

A prehearing conference was held on July 13<sup>th</sup>, wherein the Plan Commission requested additional information on the scale of the sign to the building face, particularly in comparison to the next door signage for a similar building (Gordon Flesch). Additionally, during the prehearing conference the Plan Commission discussed whether it was appropriate to approve the larger sign, if only one of the two building additions were approved which would reduce the amount of wall space. The application was tabled to allow for additional information to be submitted. See attached letter and summary below.

**Applicable Regulations, Policy, or Practice:**

According to Sec. 13-1-220(b) of the Zoning Code, all signs accompanying a zoning permit, or all proposed signs which would require approval of a special exception to the sign district requirements shall be reviewed by the Plan Commission. All signs shall be reviewed according to the standards in the Sign Code and according to the following evaluation factors:

- 1) Conformance to the Zoning and Sign Code.
- 2) Minimization of conflict with vehicular or pedestrian circulation.
- 3) Compatibility with the building characteristics, adjacent uses and adjacent signs.
- 4) Compatibility with specific physical site conditions which warrant approval of the sign.
- 5) Materials and maintenance aspects.
- 6) Legibility and visual clarity.

**Sign Standards & Staff Comments:**

- According to the Code's sign district standards, the Wiedenbeck property is in the "Commercial Signage District." Wall signs in this district are allowed to cover a maximum 10% of the front façade, but not to exceed 150 SF of all signs on the building.
- One wall sign per use on the front of a building is allowed. Where the building fronts on more than one street, and is designed with more than one front, additional wall signs may be approved.

- In terms of past policy or practice, Gordon Flesch Inc., located just north of Wiedenbeck Inc., recently received approval of a similar signage package. The area of the Gordon Flesch Sign approved for the South Towne Drive elevation was 280 SF. The proposed area of the Wiedenbeck sign on the South Towne Drive elevation is 225 SF.
- In terms of comparable scale of the Wiedenbeck sign to the Gordon Flesch sign, the two signs are about the same ratio of sign to building face. The % of surface area to sign are for Wiedenbeck is .048 and for .044 for Gordon Flesch.
- Regarding the phasing of the building additions, the applicant has stated that both additions will move forward together. This eliminates the Plan Commission concern of a larger sign being out of scale if only part of the expansion is constructed.

**Recommendation:**

Approval of two wall signs for Wiedenbeck, Inc. at 2451 Kilgust Road, as proposed, according to Section 13-1-220 of the Monona Municipal Code of Ordinances is recommended with the following findings of fact and conditions of approval:

Findings of Fact:

1. Two wall signs are allowed because the building fronts on more than one street.
2. An exception to the size requirements of Wall Signs in the Commercial Signage District, to exceed the allowance by 125 SF, is approved due to the large scale of the west building elevation; a larger sign is more compatible with the evaluation factors of the Code including compatibility with building characteristics and adjacent signs, and legibility and visual clarity.

Conditions of Approval:

1. The proposed building additions shall be constructed at once rather than done in phases, as proposed, and if only one addition is constructed, then the sign permit shall be subject to review by Plan Commission for consideration of size reduction.

# Ryan Signs, Inc.

3007 Perry Street  
Madison, WI 53713  
Phone 608-271-7979  
Fax 608-271-7853  
mbgrowneyselene@ryansigns.net

June 23, 2016

**TO:** City of Monona  
Plan Commission Members

**FROM:** Mary Beth Growney Selene  
Serving as Agent for Wiedenbeck, Inc.  
2451 Kilgust Road

**RE: SIGNAGE COMPARATIVES BETWEEN WIEDENBECK, INC. and GORDON FLESCH COMPANY, INC.**

Dear City of Monona Plan Commission Members;

At your meeting of June 13, 2016, you referred the Wiedenbeck, Inc. signage approval. You requested more information as to how the west elevation signage related in size to the Gordon Flesch Company, Inc. west elevation sign.

In a comparison of the building we determined the following:

<b><u>WIEDENBECK, INC.</u></b>	Building Surface Square Footage	4,408	sf2
	Sign Area	212.50	sf2
	% of Surface Area to Sign Area	.048	%
<b><u>GORDON FLESCH COMPANY, INC.</u></b>	Building Surface Square Footage	6400	sf2
	Sign Area	280	sf2
	% of Surface Area to Sign Area	.044	%

We hope this comparative analysis meets with your approval. We will be available to answer any questions you might have.

Thank you for your consideration.

Respectfully Submitted,



---

Mary Beth Growney Selene  
President  
Servicing as agent for Wiedenbeck, Inc.

# Ryan Signs, Inc.

---

3007 Perry Street  
Madison, WI 53713  
608-271-7979 Phone  
608-271-7853 Fax  
mbgrowneyselene@ryansigns.net

June 6, 2016

**TO:** City of Monona  
Plan Commission

**FROM:** Mary Beth Growney Selene  
Serving as Agent to Wiedenbeck, Inc.

**RE:** **Wiedenbeck, Inc.**  
**2451 Kilgust Road**  
**Signage Plan and Request for Variance**

Dear Plan Commission Members;

On behalf of Wiedenbeck, Inc., Ryan Signs, Inc. submits the following signage plan and request for variance to include their existing building and their 2016 addition.

## **BACKGROUND**

- a. The property is considered commercial for purposes on Sign Ordinance interpretation.
- b. The City of Monona Sign Ordinance allows for up to two wall signs, not to exceed 150 sf2.
- c. There is one existing sign on the north elevation of the property.

## **PROPOSED SIGNAGE PLAN**

- a. To update the existing north elevation sign to reflect the Wiedenbeck, Inc. brand (Design 1 attached). The letters will be non-illuminated, flat cut acrylic.
  - i. The square footage of this sign is 49.175 sf2.
- b. To provide a second sign to be located on the South Towne Road elevation. The letters will be non-illuminated, flat cut acrylic.
- c. In approving Design 2C (attached):
  - i. This sign is designed to fit the scale of the building.
  - ii. To allow for separate rectangles to be drawn around the (a) logo icon and (b) the "Wiedenbeck, Inc." and "Metals - Custom Metal Fabrication" letters.
- d. Request to approve sign variance as follows:
  - i. North Elevation letters = 50 sf2
  - ii. West Elevation letters = 225 sf2
  - iii. Total Square footage = 275 sf2
  - iv. Variance = 125 sf2

We appreciate your consideration and will be available to answer any questions you might have.

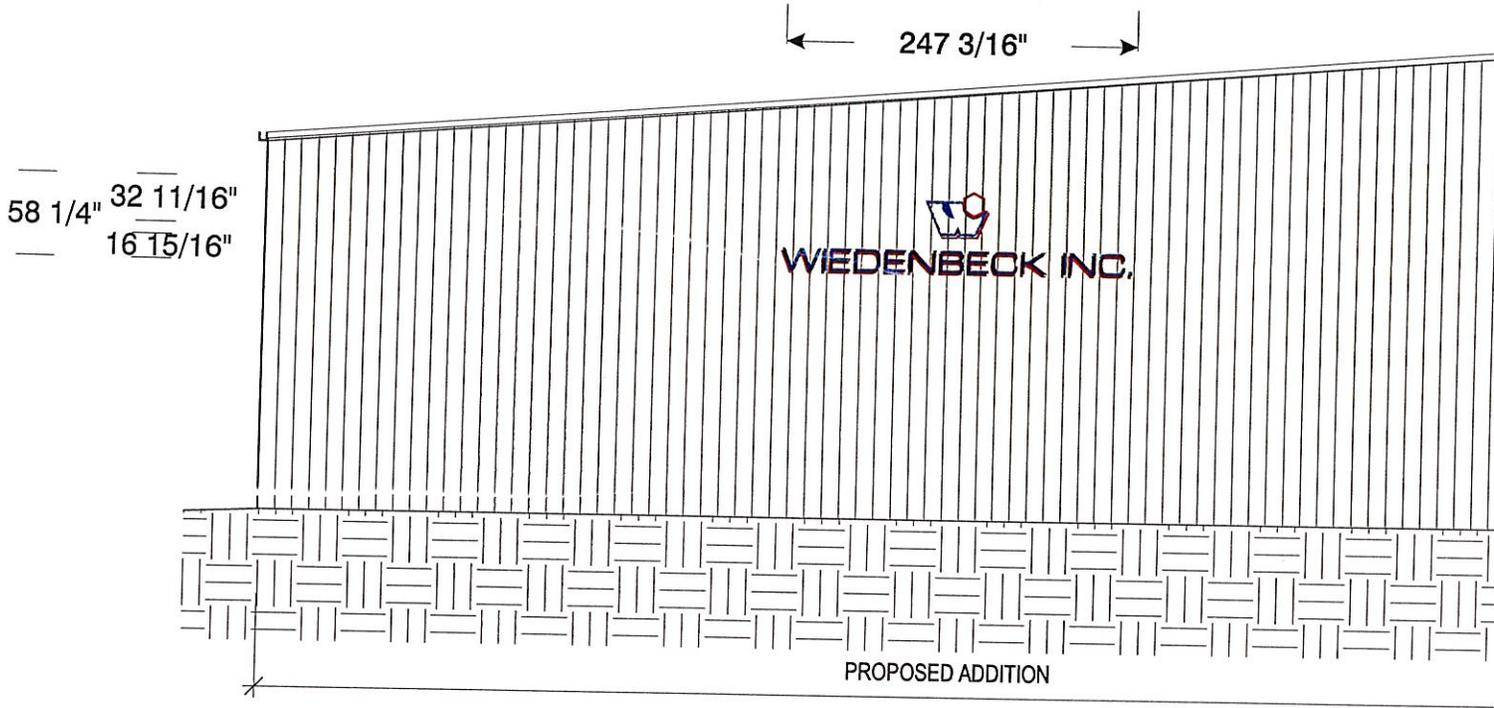
Respectfully Submitted,

  
\_\_\_\_\_  
Mary Beth Growney Selene  
President  
Ryan Signs, Inc.  
Serving as Agent to Wiedenbeck, Inc.

6-6-16  
\_\_\_\_\_  
Date



2A West Elevation

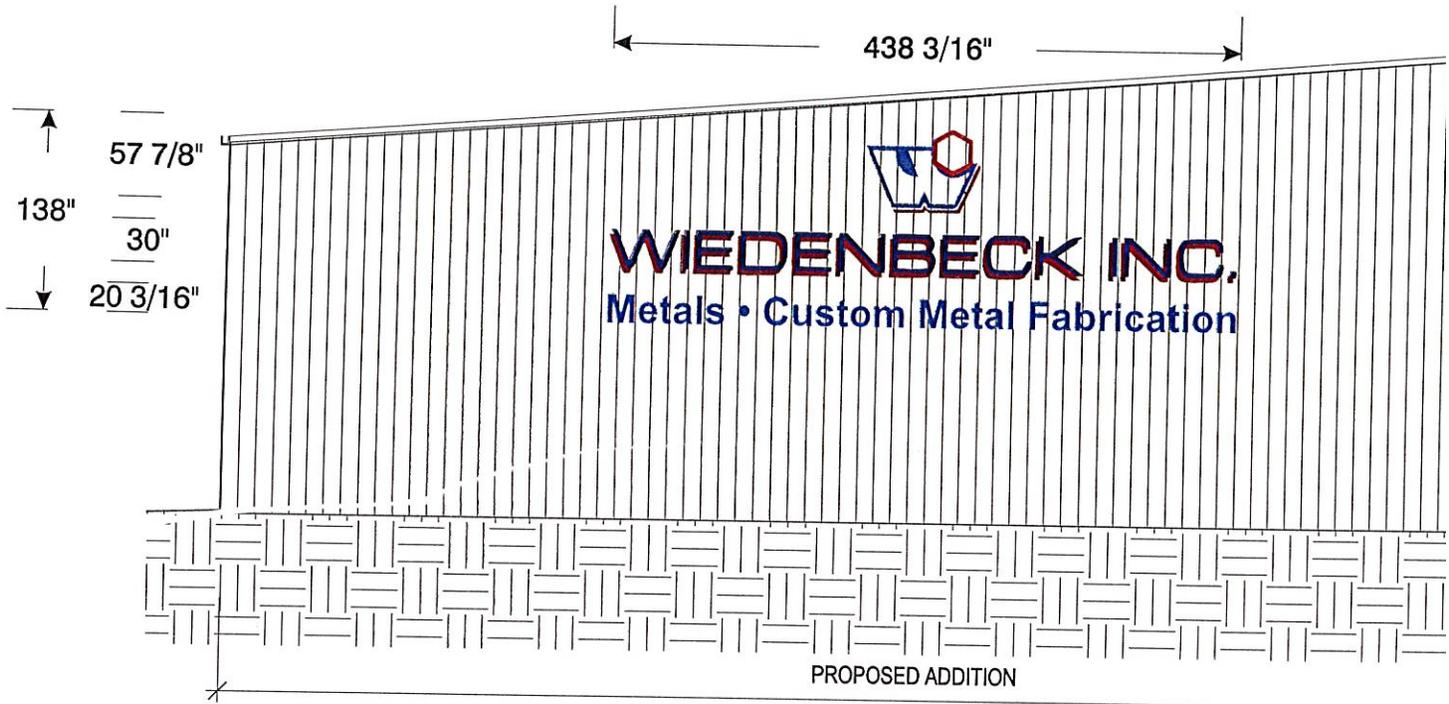


4 WEST ELEVATION  
3/32" = 1'-0"

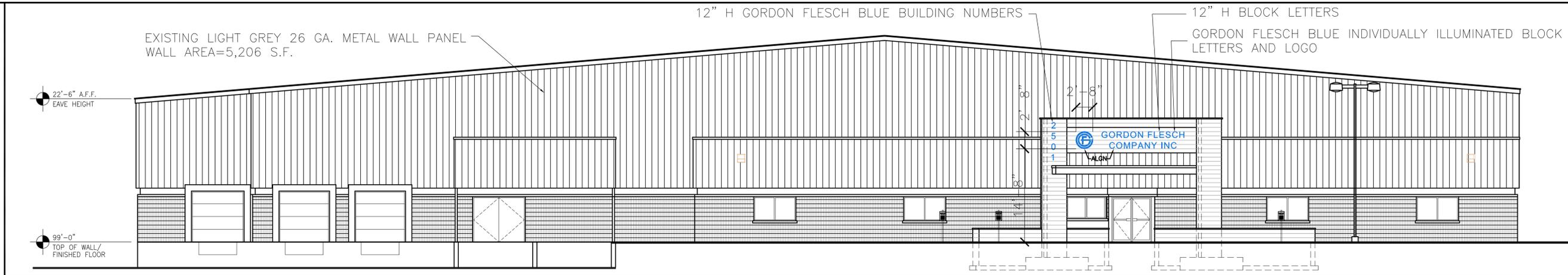
**Ryan Signs, Inc.**  
3007 Perry Street  
Madison, WI 53713

Layout design 2A represents the sizing of the letters on the West elevation to comply with 150 total square feet for the site.

2C West Elevation



4 WEST ELEVATION  
3/32" = 1'-0"



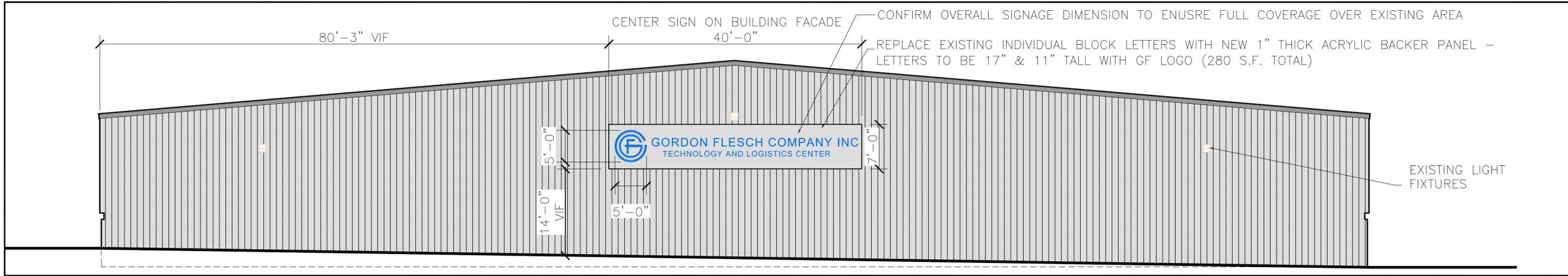
**1 PROPOSED MAIN ENTRY EAST SIDE SIGNAGE ELEVATION**  
SCALE: 1/8" = 1'-0"



**EXISTING WEST SIDE SIGNAGE REFERENCE PHOTO**  
SCALE: NTS

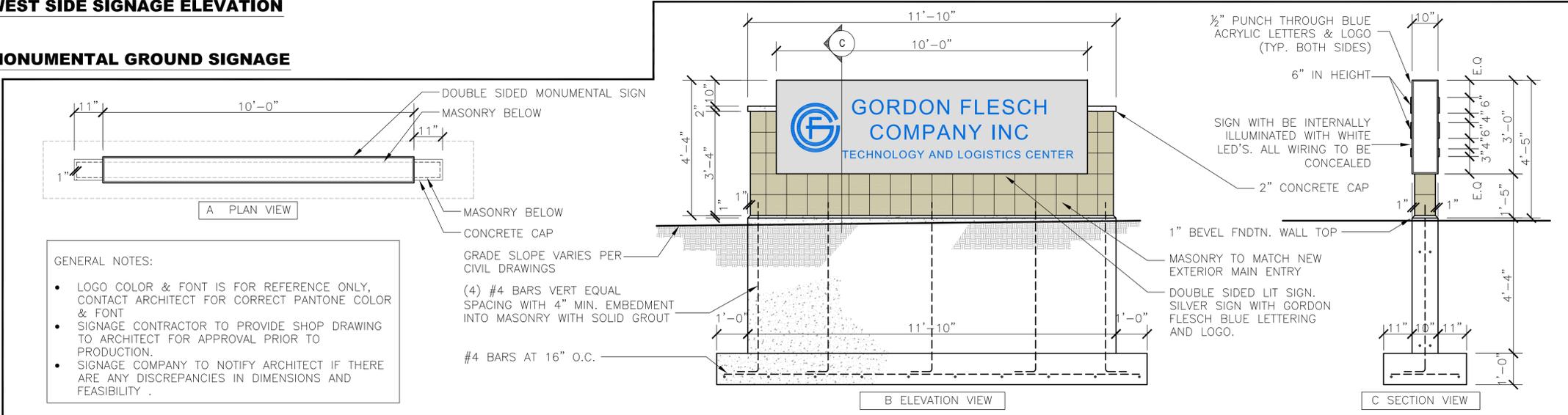


**1A PROPOSED MAIN ENTRY EAST SIDE SIGNAGE ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 PROPOSED WEST SIDE SIGNAGE ELEVATION**  
SCALE: 1/8" = 1'-0"

**3 PROPOSED MONUMENTAL GROUND SIGNAGE**  
SCALE: 1/2" = 1'-0"



**GENERAL NOTES:**

- LOGO COLOR & FONT IS FOR REFERENCE ONLY, CONTACT ARCHITECT FOR CORRECT PANTONE COLOR & FONT
- SIGNAGE CONTRACTOR TO PROVIDE SHOP DRAWING TO ARCHITECT FOR APPROVAL PRIOR TO PRODUCTION.
- SIGNAGE COMPANY TO NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES IN DIMENSIONS AND FEASIBILITY.

REVISIONS		
#	Date	Description

**ARCHITECT OF RECORD**

**ZINGG DESIGN**  
DESIGN ARCHITECT  
INTERIOR DESIGN  
PLANNING

6603 University Avenue  
Middleton, Wisconsin 53562  
Ph: 608.836.1128  
F: 608.836.1148  
www.zinggdesign.com

**GENERAL CONTRACTOR**

FINDORFF & SON INC.  
CHAD ESCHLER  
300 S. BEDFORD STREET  
MADISON, WI 53703  
PH: 608-441-1880  
CESCHLER@FINDORFF.COM

**ELECTRICAL CONTRACTOR**

SCHULTZ ELECTRIC  
CONTACT: JERRY SCHULTZ  
8491 MURPHY DRIVE  
MIDDLETON, WI 53562  
PH: 608-836-7072

**PROJECT**

**GORDON FLESH  
WAREHOUSE  
2501 KILGUST ROAD  
MONONA, WI 53713**

**SHEET TITLE**

**EXTERIOR SIGN  
ELEVATIONS**

**NOTES**

**DATE:** 03/10/16  
**PROJECT NO:** 1521  
**DRAWN BY:** KK  
**SCALE:** SEE DRAWING

NOTE: THESE DRAWINGS ARE THE PROPERTY OF ZINGG DESIGN INC. AND CANNOT BE USED IN WHOLE OR PART WITHOUT THE EXPRESSED WRITTEN CONSENT BY ZINGG DESIGN.

**SHEET NUMBER**

**A8.5**

ZINGG DESIGN, INC. © 2016



5211 SCHLUTER ROAD

MONONA, WI 53716-2598  
CITY HALL (608) 222-2525  
1FAX (608) 222-9225  
<http://www.mymonona.com>

## MEMO

TO: Plan Commission  
FROM: Sonja Reichertz, City Planner & Economic Development Director  
DATE: June 23, 2016  
RE: Recodification Review #2

---

The City is currently working on a recodification of the entire Monona Municipal Code of Ordinances assisted by the company General Code. General Code has provided: 1) a Legal and Editorial Analysis and 2) a revised manuscript of the entire code. The full manuscript can be reviewed online at the link below. The Plan Commission was provided copies of the Legal and Editorial Analysis with staff's recommendations for the May 23, 2016 Plan Commission meeting. Clarification was requested a few sections which are described below, with supporting documents attached. The sections include updated fees, and four sections from the legal and editorial analysis provided on 5/23/16.

Revised Code Manuscript: <http://mymonona.com/DocumentCenter/View/4623>

### **Fees**

Planning Intern Sydney Prusak completed a survey of fees for similar categories for other communities in the area including Cottage Grove, Fitchburg, McFarland, Stoughton, and Verona (Madison and Middleton did not reply). Attached is a sheet of recommendations based on the fees required in other communities, adjusted based on conditions specific to Monona (such as the fact that we rarely review preliminary or final plats, or that redevelopment is more difficult so our fees are slightly less for some categories accordingly). Some categories were adjusted upwards based on simply outdated fees and staff time. For example, scheduling a ZBA meeting can take many weeks and requires specific notification requirements in the newspaper. ZBA fees were adjusted from \$250 to \$350, which is still less than the area communities researched.

### **Other Sections**

#### **1. Zoning Board of Appeals – Powers of the Board – Non-Conforming Uses.**

General Code Stated:

“There appears to be a word missing in the following sentence: “If no structural alterations are made, a nonconforming use of a building may be changed to another nonconforming use of the same or a more restricted classification. ***Whenever a nonconforming use or a conforming use, such use shall not thereafter be changed to a less restricted use.***”

The memo provided previously left out the last section of this paragraph, which states, “see section 13-1-120 through 13-1-123.” I recommend replacing the entire paragraph above with a reference instead to Sections 13-1-120 through 13-1-123 to avoid repetition and confusion.

## 2. Land Disturbance

General Code Stated:

*“Section 480-22, Land Disturbance, should be reviewed against Ch. 216 Erosion and Stormwater Control (recently amended in 2014).”*

I recommended the following change as provided by General Code: “Revise 480-22A as follows: “General design principles. Control measures shall apply to all aspects of the proposed land disturbance and shall be in operation during all stages of the disturbance activity. The following principles, in addition to the regulations and requirements provided in Ch. 216, Erosion and Stormwater Control, shall apply to soil erosion and sediment control.”

The Plan Commission asked for additional context. Code section 13-1-66 is attached. I maintain my original recommendation.

## 3. Earth Station Dish Antennas

General Code stated:

*“The City might want to have this section reviewed by the Zoning Administrator or other appropriate official to determine whether it reflects current standards for the installation of satellite earth stations. We note that Sec. 62.23(7)(he), Wis. Stats., added by 1993 Act 400, provides that as of May 6, 1994, a municipality may not enact or continue to enforce an ordinance that affects satellite antennas with a diameter of two feet or less except under certain conditions.”*

The Zoning Administrator and City Attorney reviewed this section. We added a section “J” to comply with the 1993 Act 400 which states, “These requirements shall not apply to an earth station dish two feet in diameter or less.” The Plan Commission requested additional information an appropriate diameter for satellite earth stations. Planning Intern Sydney Prusak reviewed 108 other Wisconsin municipalities with their codes on the General Code website and found the following. The average diameter restriction for ground mounted signal receiving antennas is 11 feet. Only 38% of the WI communities on the General Code website (41 of the 108) have any diameter restriction for this type of signal receiving antenna. Several communities make exceptions for “stations used to provide community antenna television services.” It is our understanding that a satellite earth station is an outdated technology that is

rarely newly erected. Our Attorney notes that these are old fashioned stations still used by some people (hobbyists, amateur astronomers, or simply those dishes that still exist from the 80s). I recommend leaving the diameter limit at 9 feet, since it is already less than the 41 other communities with restrictions.

**4. Monona Drive Access Management Guidelines:** The General Code review cited areas under “Driveway Median” text as confusing. Below is a screenshot of my recommendation. Attached is the original code section for more context as requested.

(4) Attachment 4, Monona Drive Access Management Guidelines.

(a) The text immediately following the “Driveway Median” text and before the “General” text is unclear/confusing. This is how the original copy appeared – is the setup correct? Perhaps the line breaks are incorrect? Please write-in necessary revisions.

Two one-way driveways <del>frontage width</del>	Individual driveway volumes should exceed 300 vpd and highway
In lieu of two two-way Driveways	satisfied driveway spacing guidelines

Frontage Width

(b) The first sentence of “General,” Subsection (1), does not make sense:

“Any time a parcel of land is cleared of existing surface improvements, the driveways serving that parcel should be cleared or ~~Driveway operation is also directly impacted by internal parking lot circulation patterns.~~”

**Decision:**

Revise as follows: (write in revisions above)

Other: \_\_\_\_\_

or driveway  
operation is also  
directly impacted  
by internal parking  
lot circulation  
patterns,

Proposed Development Fee Schedule for the City of Monona  
6/21/16 Draft

**Title 13-Zoning Code-Use Performance Standards**

General Zoning Violation Fine	\$100
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**Title 13-Zoning Permit Fees**

13-1-161(c) Variance Application Fee (Zoning Board of Appeals)	\$350 (previously \$250)
13-1-162 New Commercial Use/New Construction	\$125 (previously a flat fee of \$125) <i>Some communities use price per SF plus a base fee</i>
13-1-162 Commercial Addition/Alteration	\$85
13-1-162 Commercial Accessory Building	\$50 (previously \$50) <i>If a SF price determination is used, this category can be eliminated</i>

**Title 13-Zoning and Occupancy Permit Fees-Single and Two Family Residence Districts**

13-1-182(a) New	\$95
13-1-182(a) Additions and Alterations	\$75
13-1-182(a) Family Accessory Buildings, Decks	\$50
13-1-182(a) Change in Use	<i>Recommend a conditional use ZBA fee of \$350 (previously \$50)</i>
13-1-182(a) Occupancy	\$50

**Title 13-Sign Permit Application**

13-1-228(b) Sign Permit Fee	\$1.00 per SF with a \$50 minimum (previously \$1.00 per SF with a \$25 minimum)
13-1-231 Sign Permit Violation Fine (Non-compliance with the Sign Code)	1 <sup>st</sup> violation: \$50, Subsequent violations: \$100

**Title 14-Administrative and Other Fees**

14-1-6(g)(1) Certified Survey	\$200+\$25/lot (previously \$125+\$25/lot)
14-1-6(e)(1) Preliminary Plat Fee	\$200+\$40/lot*
14-1-6(f)(1) Final Plat Review Fee	\$200+\$25/lot (previously \$125+\$25/lot)*
14-1-6(e)(2) Preliminary Plat Reapplication Fee	<i>Recommend removing this fee (previously \$25)</i>
14-1-6(f)(2) Final Plat Reapplication Fee	<i>Recommend removing this fee (previously \$10)</i>
Zoning Verification Letter Fees (new charge)	\$30

\* Also applies to preliminary/final plat reapplication if submitted 36 months after original preliminary/final plat (McFarland was the only community to mention a reapplication fee)

" #1: ZBA - Powers of the Board  
Nonconforming Uses "

(1)

Article I: Administration

Sec. 13-1-160 Zoning Administrator; Powers and Duties.

- (a) **Duties.** In addition to any other duties set by the Mayor and Common Council, the Zoning Administrator shall administer, supervise and enforce the provisions of this Code and shall:
- (1) Prepare all forms necessary or useful in the administration of this Code.
  - (2) Inspect each project for which a permit has been applied for or granted.
  - (3) Issue zoning and occupancy permits when authorized or required to do so under this Code.
  - (4) Record violations and provide this information to the Common Council.
  - (5) Maintain permanent and current records of this Code, including but not limited to all maps, amendments, permits, variances, appeals and applications therefore and non-conforming uses as such uses come to his attention.
  - (6) Receive, file and forward to the Commission all applications for amendments to this Chapter.
  - (7) Receive, file and forward to the Commission all applications for zoning permits for uses other than single family and two (2) family residences.
  - (8) Receive, file and forward to the Zoning Board of Appeals all applications for appeals, variances and other matters won which the Zoning Board of Appeals is required to act under this Code.
  - (9) Receive, file and forward to the Common Council all appeals under Section 13-1-183(f).
  - (10) Make periodic activity reports to the Commission and Common Council.
- (b) **Powers and Authority.** In the enforcement of this Code, the Zoning Administrator shall have the power and authority for the following:
- (1) At any reasonable time and for any proper purpose to enter upon any public premises and make inspection thereof.
  - (2) Upon reasonable cause or question as to proper compliance, to revoke any zoning or occupancy permit and issue cease and desist orders requiring the cessation of any building, moving, alteration or use which is in violation of this Code, such revocation to be in effect until reinstated by him or the Board of Appeals; or take any other action as directed by the Common Council to ensure compliance with or to prevent violation of its provisions.
  - (3) In the name of the City and with approval of the City Attorney commence any legal proceedings necessary to enforce this Code.
  - (4) To prepare and recommend to the Council rules and regulations for the administration of this Code which when they become effective under this Code of Ordinances shall have the force of ordinances.

Sec. 13-1-161 Zoning Board of Appeals.

- (a) **Composition.** The Zoning Board of Appeals shall have a composition as prescribed in Section 2-4-2.
- (b) **Procedure.**
- (1) **General.** The Board shall adopt rules for its government and procedure, not inconsistent with law and with the provisions of this or of any other ordinance of the City. Meetings of the Board shall be held at the call of the Chairman and at such other times as the Board may determine. The Chair, or in the Chair's absence the acting Chair, may administer oaths and compel the attendance of witnesses. All meetings shall be open to the public. Sessions of the Board may be closed to the public only as provided in Sec. 19.85, Wis. Stats. The Board shall keep minutes of its proceedings, showing the vote of each member upon each question, if absent or failing to vote, indicting such fact, and shall keep records of its examinations and other official actions, all of which shall be immediately filed in the office of the Board and shall be a public record. The presence of four (4) members shall constitute a quorum. The Board shall act by motion or resolution. The concurring vote of four (4) members of such Board shall be necessary to reverse any other requirement, decision or determination of the Zoning Administrator, or to decide in favor of the applicant on any matter upon which it is required to pass under this Chapter or to

effect any variation of this Chapter. Those items before the Board which do not by State Statute require an absolute majority vote shall require a vote of three (3) members for approval.

(c) **Applications and Appeals.**

- (1) An application to the Board, in cases in which it has original jurisdiction under this Chapter, may be taken by any property owner, including a tenant, or by a governmental officer, department, or board. Such application shall be filed with the Zoning Administrator who shall transmit the same, together with all the plans, specifications and other papers pertaining to the application, to the Board. In the case of a request for a conditional use permit within the one (1) or two (2) family zone, the decision of the Board may be appealed by a person aggrieved to the Common Council.
- (2) An appeal to the Board may be taken by any person aggrieved or any governmental officer, department or board affected by any ruling of the Zoning Administrator. An appeal from a ruling of the Zoning Administrator shall be taken within a reasonable time, as prescribed by the rules of the Board by filing with the Zoning Administrator and with the Board, notice of appeal specifying the grounds thereof. The Zoning Administrator shall forthwith transmit to the Board such notice of appeal, together with all the plans and papers constituting the record upon which the action appealed from was taken.
- (3) The Board shall fix a reasonable time for the hearing of an application or of an appeal. It shall give public notice of such hearing as well as notice to the owners of all property adjacent to the property affected by any appeal or application for a variance a reasonable time before such application or appeal shall be considered by the Board. The Board shall also notify the applicant or appellant and the Zoning Administrator. The owners of adjacent property as referred to herein shall be deemed to be the owners as shown on the assessment records in the City Hall. Any party may appear at such hearing in person or by agent or by attorney. The Board shall decide the application or appeal within a reasonable time.
- (4) The Board shall not have jurisdiction of appeals from determinations of the Commission or Common Council unless otherwise provided in this Chapter.

(d) **Stay of Proceedings.** An appeal shall stay all proceedings in furtherance of the action appealed from, unless the Zoning Administrator certifies to the Board after notice of appeal is filed that by reason of facts stated in the certificate, a stay would cause imminent peril to life or property, in which case proceedings shall not be stayed otherwise than for good cause by a restraining order granted by the Board or by the circuit court, on application, on notice to the Zoning Administrator.

(e) **Powers of the Board.**

- (1) The Board may hear and decide, in accordance with the provisions of this Code and herein provided, requests or applications for special exceptions, or for interpretation of the District Map, or for decisions upon other special questions upon which the Board is authorized to pass.
- (2) In addition to permitting special exceptions specified in this Chapter, the Board may permit the following:
  - a. **Non-Conforming Uses.** ~~If no structural alterations are made, a non-conforming use of a building may be changed to another non-conforming use of the same or a more restricted classification. Whenever a non-conforming use or a conforming use, such use shall not thereafter be changed to a less restricted use.~~ <sup>delete</sup> ~~See Section 13-1-120 through 13-1-123.~~ <sup>keep</sup> → attached.
  - b. **Temporary Uses and Permits.** The temporary use of a building or premises for a purpose incidental to commerce or industry in a Residential District, provided such be of a true temporary nature and not involve the erection of permanent buildings. Such permit shall be granted for not more than one (1) year, subject to such conditions as will safeguard the public health, safety, convenience and the general welfare.
  - c. **Social and Recreational Buildings.** Where it is desired to locate in an area zoned for residence purposes, clubs, lodges, social and recreational center buildings, except those the chief activity of which is carried on, or is one customarily carried on, primarily for gain, the Board of Appeals may issue a permit for such use, or any extension thereof. Such uses shall comply with the following requirements:
    - 1. Plans of the site and of the buildings proposed shall be submitted to the Zoning Administrator with a written request for approval of such use.

This section did not make sense. Replace narrative with reference to 13-1-120 thru 13-1-123

- 2. Any such building shall be located not less than seventy-five (75) feet from any lot in any Residential District not used for similar purposes.
- 3. The Board shall give notice to adjacent property owners and hold public hearings as required.
- (3) The Board shall interpret the provisions of this Code in such a way as to carry out the intent and purpose of this plan as shown on the District Map and as provided in the Master Plan.
- (4) The Board may hear and decide appeals where it is alleged by the appellant that there is error in any order, requirement, decision, grant or refusal made by the Zoning Administrator in the carrying out or enforcement of this Code. In accordance with the above, the Board shall have the following general powers:
  - a. To permit the projection of a building into a required front yard, side yard or rear yard, but only to an extent necessary to construct a building or structure practicable in construction and arrangement for an exceptionally narrow, shallow, or irregular lot, or for exceptional topography, so existing on the effective date of this Code.
  - b. To permit in any district such modification of the requirements of this Code as the Board may deem necessary to secure an appropriate development of a lot, where adjacent to such lot there are buildings or uses that do not conform to regulations prescribed by this Code for the district in which these are located, provided the Board shall not permit in any district a use not permitted under the district regulations or a use denied by the Plan Commission.
  - c. Where, by reason of exceptional narrowness, shallowness, or shape of a specific piece of property on the effective date of this Code or by reason of exceptional topographic conditions, or other extraordinary and exceptional situation or conditions of such property, the strict application of any provision of this Code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of such property, the Board may authorize, upon appeal relating to such property, a variance from such strict application, so as to relieve such difficulties or hardships, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this Code.

**Sec. 13-1-162 Fees.**

The Common Council shall annually determine the average cost and establish a fee for processing applications for zoning permits, occupancy permits, rezonings, variances and appeals. An applicant for a zoning permit, occupancy permit, rezoning, variance or appeal shall pay the required fee upon final submission of the application. An application shall not be deemed complete until the required fee has been paid. A copy of the current fees established by the Common Council shall be kept on file by the City Clerk.

**Sec. 13-1-163 Enforcement and Penalties.**

- (a) Any building or structure hereafter erected, moved or structurally altered or any use hereafter established in violation of any provision of this Code shall be deemed an unlawful building, structure or use. The Zoning Administrator shall promptly report all such violations to the City Attorney who shall cause an action to be brought to enjoin the erection, moving or structural alteration of such building or the establishment of such use or to cause such building, structure or use to be vacated or removed.
- (b) Any person who violates any provision of this Code or disobeys or refuses to comply with the enforcement of any provision of this Code shall also be subject to a forfeiture under Section 1-1-7. Each day a violation continues to exist shall constitute a separate offense.

**Sec. 13-1-164 through 13-1-179**

**Reserved for Future Use.**

Article G: Non-Conforming Uses



Sec. 13-1-120 Existing Non-Conforming Uses.

- (a) **When Continuation Permitted.** The lawful non-conforming use of a building, structure, land or water existing on the effective date of this Code or any amendment to this Code may be continued although the use does not conform with the provisions of this Code, provided:
  - (1) Only the use of that portion of the land or water in actual use may be so continued; and the building or structure shall not be extended, enlarged, reconstructed, substituted, moved or structurally altered except when required by law or order so as to comply with the provisions of this Chapter.
  - (2) The total lifetime structural repairs or alterations to buildings and structures devoted to non-conforming uses shall not exceed fifty percent (50%) of the replacement cost, or acceptable substitute indicator of market value, determined at the time the building or structure was listed as a legal non-conforming use under Subsection (c), unless the building or structure is permanently changed to a conforming use.
  - (3) Substitution of new equipment may be permitted by the Board of Zoning Appeals if such equipment will reduce the incompatibility of the non-conforming use with the neighboring uses.
- (b) **When Discontinuation Required.**
  - (1) If such non-conforming use is discontinued or terminated for twelve (12) consecutive months, any future use of the building, structure, land or water shall conform to the provisions of this Chapter.
  - (2) When a non-conforming use, building or structure is damaged by fire, explosion, flood, the public enemy or other calamity to the extent of more than fifty percent (50%) of its market value, it shall not be restored except in compliance with the use provisions of this Chapter.
- (c) **Records.** As existing non-conforming uses are observed, the Zoning Administrator shall establish and maintain a file of non-conforming uses listing the following:
  - (1) Owner's name and address.
  - (2) Use of the building, structure, land or water.
  - (3) Market value of the structure at the time of its becoming a non-conforming use.
- (d) **Certificate of Non-Conformity.** When the Zoning Administrator lists a non-conforming use under Subsection (3), the Zoning Administrator shall issue a certificate of legal non-conformity to the property owner, which shall include the current replacement cost, or an acceptable substitute indicator of market value.

Sec. 13-1-121 Existing Non-Conforming Buildings and Structures.

- (a) **Generally.** Any lawful non-conforming building or structure existing on the effective date of this Code or any amendment to this Code may be continued although its size or location does not conform with the lot width, lot area, yard, height, other dimensional, parking, loading, access or site performance standards of this Code; provided it shall not be extended, enlarged, reconstructed, moved or structurally altered except when required by law or order or so to comply with such provisions, or when there would be no additional encroachment on zoning regulations. This Code shall not prevent compliance with lawful orders of the Zoning Administrator or Building Inspector or prevent strengthening or restoring to a safe condition any part of any structure the Zoning Administrator or Building Inspector declares unsafe.
- (b) **Records** A record of non-conforming buildings and structures shall be established and maintained by the Zoning Administrator as provided in Section 13-1-120(c). The Zoning Administrator shall issue certificates of non-conformity as in Section 13-1-120(d).
- (c) **Amortization of Non-Conforming Structures.** Non-conforming structures other than buildings shall be brought into conformance by January 1, 1985, or five (5) years after the effective date of any applicable amendment to this Code.

5

- (d) **Maintaining Non-Conforming Buildings and Structures.** Subject to Subsection (c) buildings and structures which are non-conforming for reasons other than use may be repaired and maintained.

**Sec. 13-1-122 Changes and Substitutions of Non-Conforming Uses, Buildings or Structures.**

- (a) Once a non-conforming use, building or structure has been changed to conform, it shall not revert back to a non-conforming use, building or structure.
- (b) Once the Zoning Board of Appeals has permitted the substitution of a more restrictive non-conforming use for an existing non-conforming use, the substituted use shall lose its status as a legal non-conforming use and become subject to all the conditions required by the Board of Appeals.

**Sec. 13-1-123 Substandard Lots.**

- (a) **Use of Substandard Lots.** In any residential district, a one (1) family detached dwelling and its accessory structures may be erected on any legal lot or parcel of record which was recorded in the office of the County Register of Deeds before the effective date of this Code or the effective date of any applicable amendment to this Code, provided such lot or parcel is developed in accordance with this Section. However, if abutting lands and a substandard lot of less than fifty (50) feet in width at the building line are owned by the same owner, a substandard lot shall not be sold or used without full compliance with the provisions of the Zoning Code.
- (b) **Development Standards.**
  - (1) Any substandard lot that is allowed to be developed under Subsection (a) shall be developed in accordance with the side yard, rear yard and front yard setback limitations as set forth in the Single Family Residence District regardless of its zoning district classification. In addition to this requirements, no structure may be built within fourteen (14) feet of any adjoining dwelling structure.
  - (2) In addition, the lot coverage ratio and floor area ratio shall not be less than eighty percent (80%) of the average lot coverage ratio and the average floor area ratio for other single family resident occupied lots within the neighborhood. The proposed use must meet the use performance standards of Section 13-1-41 and the site performance standards of Section 13-1-61.
  - (3) For the purposes of this Section, "neighborhood" means those lands designated as single family by the Zoning Map lying within two hundred (200) feet of the exterior boundaries of any substandard lot that is the subject of an application for a zoning permit under this Section.

**Sec. 13-1-124 through Sec. 13-1-139 Reserved for Future Use.**

# #2 Land Disturbance

1 of 1

## City of Monona Code of Ordinances

### Sec. 13-1-64 Historic Conservation.

- (a) **Determination of Effect on Proposed Use or Improvement.** If an application for a zoning or occupancy permit under this Code involves a landmark or landmark site designated as such by the Landmarks Board, within thirty (30) days, the Commission shall determine:
- (1) Whether the proposed work would detrimentally change, destroy, or adversely affect any architectural feature of the landmark.
  - (2) In the case of a new construction, whether the exterior or such construction would be in harmony with the external appearance of other landmarks on the site or nearby.
  - (3) Whether the proposal would significantly alter or destroy the historic characteristics of the landmark or the landmark site.
- (b) **Action of Determination.** If, after consideration of Subsection (a), the Commission deems it appropriate, it shall refer the application to the Common Council to determine, within thirty (30) days, action for acquisition or preservation of such landmarks or sites.

### Sec. 13-1-65 Environmentally Sensitive Lands.

- (a) The development shall not detrimentally affect or destroy natural features such as ponds, streams, lakes, shorelines, wetlands, steep slopes and forested areas but preserve and incorporate such features into the development site design.
- (b) The location of natural features and the site's topography shall be considered in the design and siting of all physical improvements.
- (c) The development shall not substantially reduce retention storage capacity of the watershed within which it is contained. Special effort shall be made to minimize the alterations, which would adversely affect the surface and subsurface hydrology, both on and off the site. Development which affects the hydrologic character of the basin shall be approved by the City Engineer.
- (d) Site soil and subsurface conditions shall be determined by the Zoning Administrator as suitable for the proposed land use prior to approval.
- (e) The development shall be free from offensive noise, vibration, smoke, dust and other particulate matter, odorous matter, fumes, water pollution and other objectionable influences.

### Sec. 13-1-66 Land Disturbance.

→ "in addition to..." (see memo).

- (a) **General Design Principles.** Control measures shall apply to all aspects of the proposed land disturbance and shall be in operation during all stages of the disturbance activity. The following principles shall apply to soil erosion and sediment control:
- (1) Stripping of vegetation, grading or other soil disturbance shall be done in a manner, which will minimize soil erosion.
  - (2) No site shall be cleared of top soil, trees and other natural features before the commencement of building operations. Whenever feasible, natural vegetation shall be retained and protected. Only those areas approved for the placement of physical improvements may be cleared. The extent of the disturbed area and the duration of its exposure shall be kept within practical limits.
  - (3) Either temporary seeding, mulching or other suitable stabilization measures shall be used to protect exposed critical areas during construction or other land disturbance.
  - (4) Drainage provisions shall accommodate increased runoff resulting from modified soil and surface conditions, during and after development or disturbance. Such provisions shall be in addition to all existing requirements.
  - (5) Water runoff shall be minimized and retained on site whenever possible to facilitate ground water recharge.
  - (6) Sediment shall be retained on site.

APPENDIX B

**Monona Drive Access Management Guidelines**

Access management attempts to balance the movement of traffic with safety and land development needs along a public street or highway. Access management guidelines are not intended to take access rights away from property owners but to regulate those rights in a reasonable and justifiable manner. The key element to coordinating transportation and land development needs is the design of access controls that define allowable access levels and spacings while providing a mechanism for granting variances when reasonable access cannot be provided. Cooperation between adjacent property owners is an important requirement for a successful access management program.

Under a retrofit program of access control, land for needed improvements is often unavailable requiring the use of minimal rather than desirable standards. In some cases, access improvements may be unachievable due to existing building locations, property size or circulation requirements such as at drive-through facilities for banks and/or restaurants. However, as land development changes occur, implementation of access control improvements can be a requirement in the design of new facilities and their accessibility. The Monona Drive Access Management Guidelines have been prepared to minimize the need for variances or exceptions, while simultaneously protecting arterial traffic flow, land development access and providing for needed improvements to existing access and guidance in the design of future accessibility.

(1) **Intersections.**

- |          |              |                  |
|----------|--------------|------------------|
| Spacing: | a. Minimum   | 500 feet         |
|          | b. Desirable | 600-800 feet     |
|          | c. Optimum   | 1,000-1,400 feet |

(2) **Driveways.**

- |                   |   |
|-------------------|---|
| Corner Clearance: | a. Signalized Intersection  |
|                   | *Low Traffic Generator = 75-100 feet  |
|                   | *Medium Traffic Generator = 100-150 feet  |
|                   | *High Traffic Generator = greater than 150 feet   |
|                   | e. Unsignalized Intersection  |
|                   | *Low Traffic Generator = 50 feet  |
|                   | *Medium Traffic Generator = 100 feet  |
|                   | *High Traffic Generator = 150 feet  |
| Frequency:        | a. One per residential property   |
|                   | b. Two per commercial unit if frontage is greater than 300 feet                         |
|                   | c. Consolidate access whenever properties are assembled under one purpose               |
|                   | d. Additional driveway warranted if total ingress/egress volume exceeds 5,000 vpd       |
| Spacing:          | a. 50-foot minimum; 100 foot desirable  |
|                   | b. Optimize spacing along blockface   |
|                   | c. Adjacent property owners should be encouraged when possible to combine access points |

Width: Minimum 24 feet Low traffic generator; less than 750 vpd  
 Maximum 30 feet Medium traffic generator; 750 to 1,500 vpd  
 Additional lane authorized if volume exceeds 500 vpd in outbound or inbound direction

Curb Radius: 15 foot minimum (see attached exhibit)  
 20 foot desirable

PROBLEM TEXT

Driveway Median: on collisions, Recommended at all three-lane driveways with accident pattern of head-

And/or volume exceeding 100 vpd

a. Minimum median width = 4 feet; desirable width = 10 feet (face of curb to face of curb)

b. Minimum median length = 20 feet

Two one-way driveways frontage width  
 In lieu of two two-way Driveways

Individual driveway volumes should exceed 300 vpd and highway satisfied driveway spacing guidelines

General:

- (1) Any time a parcel of land is cleared of existing surface improvements, the driveways serving that parcel should be cleared or Driveway operation is also directly impacted by internal parking lot circulation patterns. All commercial businesses should be located a minimum of 30 feet (setback) from the edge of planned roadway pavement improvements. Internal parking lot driveway access to and from such developments within a large parking lot should be set back a minimum of 20 feet from the edge of the planned roadway pavement improvements, with a desirable distance of 35 feet where possible. This will provide adequate storage on the driveway exit and remove unnecessary conflicts from the driveway entrance area.

