

**Agenda**  
**City of Monona Landmarks Commission**  
**Monona Public Library – Municipal Room**  
**1000 Nichols Road, Monona, WI**  
**Wednesday November 16, 2016**  
**4:30 p.m.**

1. Call to Order
2. Roll Call
3. Approval of Minutes of October 12, 2016
4. Appearances
5. Unfinished Business
  - A. Commissioner Updates on Additions to the Wisconsin Historical Society Architectural Survey Database and WVMO Radio Recordings.
  - B. Review/Approval of Draft Historic Preservation Plan for the Springhaven Pagoda (Dated 11/1/2016), including report from Architectural Historian Charles Quagliana (Dated 10/26/2016).
  - C. Review/Approval of Revised Historic Conservation Ordinance (Dated 11/1/2016).
  - D. Review/Approval of Landmarks Nomination Form and Preparation Guide for Landmark Nomination.
6. New Business
  - A. Discussion of Items for Future Agenda.
7. Upcoming meetings – December 21, 2016 and January 18, 2016
8. Adjournment

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**Minutes  
Landmarks Commission Meeting  
October 12, 2016  
4:30pm**

Chair O'Connor called the meeting of the Monona Landmarks Commission to order at 4:30pm.

Present: Chair Mary O'Connor, Mr. Rick Bernstein, Ms. Rebecca Holmquist, Mr. Matt Aro, Ms. Branda Weix

Also present: City Planner & Economic Development Director Sonja Reichertz

**Approval of Minutes**

A motion by Ms. Weix, seconded by Mr. Bernstein, to approve the minutes of August 17, 2016 carried without corrections.

**Unfinished Business**

**A. Commissioner Updates on Additions to the Wisconsin Historical Society Architectural Survey Database and WVMO Radio Recordings.**

Mr. Aro recorded his reading. Chair O'Connor will check with John Disch about recording the Monona Motors / Ernie's Trading Post reading. Chair O'Connor also recorded a spot on the radio advertising that books are available for sale, and Reichertz added it to the City newsletter. There were no updates on the WHS Architectural Survey Database.

**New Business**

**A. Review of Draft Report from Architectural Historian Charles Quagliana Regarding Restoration Options for the Springhaven Pagoda.**

Ms. Holmquist arrived.

The Commission reviewed a draft report prepared by Charles Quagliana dated 10/7/2016 and provided input and recommendations for changes. Staff will gather information on old photos, share the plan with the Parks Director, check the date of the MMSD Utility Line, and combine the reports. Mr. Aro volunteered to draw details of the roof to help with developing a mold for the replacement of the roof. The Commission will discuss fundraising efforts at a future date, once the method of preservation is chosen.

The Commission requested that Mr. Quagliana make some edits to the draft report including:

- The date of construction is more specifically the 1890s, not the mid-to-late 1800s.
- Can Mr. Quagliana provide names or recommendations of concrete companies, both on the expert side and the more traditional concrete companies so the Landmarks Commission can get quotes?
- Ask for a more formal recommendation on the enclosure. If he thinks it should be done, then maybe Public Works can build one. A plywood box could invite more vandals than there currently are.
- Does he recommend the mortar in the foundation stones be repaired? Please be more specific in report.
- Can he provide more information on who does the laser scanning and how much this would cost?
- Can the process for repair and / or replacement be more technically laid out in the report (i.e. if replacing the roof, they would need to saw cut the existing, etc.)
- Can the structural engineer provide a more formal statement about the structure's stability, foundations, columns, and ability to hold a new roof? Can the structural engineer include technical

comments about how the steel would need to be added to a new roof, and how the columns would need to be braced during construction?

- On page 3 of the report, he wrote that repair is preferable to replacement. Please have him clarify. Is this a recommendation or general statement? It seems that he thought replacement was a good option in this case. Similarly, on page 13, the last paragraph implies that preservation is the best course of action.
- Please add the structural engineer's sketches.
- On page 5 is discussion about replacing the parging on top of the foundation wall. Can he be more specific about if this is something that is recommended?
- Can he be more specific in whether he recommends cleaning out the interior basin and how the stones should be replaced if we do?

Overall, the Commission would like to see more technical direction and recommendations in the report. Staff will work with Mr. Quagliana and bring a final draft back to the Commission to guide decisions on next steps.

#### **B. Review of Draft Form for Landmark Site/Building Nomination.**

Reichertz summarized that the Commission suggested developing a form for the following reasons: (1) allows the public to complete a form to nominate a landmark for Commission review, (2) provide a consistent framework for nominating all future landmarks (each form would include the same information and require justification for nomination of the landmark), (3) allow better record keeping of why landmarks were nominated over time, and (4) serve as a useful tool for communicating to the Council as landmarks are nominated in the future. Mr. Aro asked if section number five should say "designation" or "design." He said it should be consistent with the ordinance. The Commission agreed it should say "designation." The Commission agreed the rest of the form was fine and that it should be voted on at the next meeting as a package with the revised ordinance.

#### **C. Review of Current Historic Conservation Ordinance.**

Reichertz shared the existing Historic Conservation Ordinances, Section 13-1-61 of the Zoning Code. The Landmarks Commission made modifications to the Ordinance earlier in 2016 that were approved by Council and the Plan Commission which added some procedures relating to proposed demolition of a landmark, as well as specifying the criteria for designation of a landmark.

At the last meeting, the Commission requested codification of procedures for nomination of a landmark. Reichertz drafted changes based on the City of Madison process. The changes are summarized as follows. Any person may nominate a landmark by submitting a form, as drafted by the Landmarks Commission, to the City Planner to document why it qualifies according to the designation criteria. Next the Landmarks Commission would hold a public hearing, noticed by a Class II publication in the newspaper, and a mailing to the property owner on record and properties within 200' of the proposed landmark property. The Landmarks Commission then completes a report to the Council with a recommendation supporting or opposing the proposed landmark designation. The Council then reviews the Landmarks report and votes to designate or decline to designate the landmark. If designated, the ordinance would require it to be recorded at the Dane County Register of Deeds. Additionally, the ordinance specifies that additional restrictions may be placed on the property only by a voluntary agreement between the Commission and the Owner approved by Council. The ordinance requires the Landmarks Commission to fix a plaque to the site after designation for recognition. A designation may be removed at any time by filing a petition to amend the designation.

Reichertz added that the wording of the designation criteria was modified slightly to make it less wordy.

The Commission clarified that the Class II notice and the public hearing mailings should occur prior to the public hearing held by the Landmarks Commission. Mr. Bernstein also said we should check on any recent state law changes regarding public hearing requirements for historic properties.

There was consensus that the new procedures for nomination of landmarks are appropriate in general with modifications as noted.

Mr. Aro reviewed the process from the existing ordinance regarding Plan Commission involvement in “determination of effect on proposed use or improvement.” There was discussion of why the Plan Commission is involved in the review process. Staff stated it was written that way in the code previously and has not been changed. Staff clarified that the Landmarks Commission is a stand-alone Commission and is not a sub-committee of the Plan Commission. Staff also added that the Historic Conservation Ordinance is part of the zoning code, so any changes require Plan Commission recommendation to Council, however, she does not believe the Plan Commission is required to be part of the review process. The Commission asked staff to write an ordinance where the Landmarks Commission has review authority without the added step of going to Plan Commission, followed by recommendation to Council in order to be consistent with the process for nominating a landmark as drafted for this meeting.

Mr. Aro also pointed out the Plan Commission role under the existing ordinance section for “action on permit application.” The Commission was concerned with the phrasing that states, “*if* the Plan Commission deems it appropriate, it shall refer the application to Common Council for consideration of acquisition or preservation of the landmark or landmark site.” The Commission felt it appropriate for the Landmarks Commission to deem whether or not to refer an application for alterations to a landmark to the Council instead of the Plan Commission.

Chair O’Connor asked staff to review these sections with the City Attorney.

The Commission reviewed the timing and asked that staff include this in the recodification review by the Council this fall.

Ms. Weix left the meeting; a quorum of members still remained.

#### **D. Commission Recommendations for New Members (2 Vacant Positions)**

Anne Wellman has submitted an application. She lives in the Lamboley Cottage on Winnequah, a landmark property. The Commission agreed to recommend her appointment to the Mayor. The Commission said they would reach out to other potential members, and that someone with building experience would be desirable.

#### **E. Discussion of Items for Future Agenda.**

The next agenda will be similar to this one. The other outstanding project is regarding the previous discussion of an archaeological project which will be revisited in the future.

#### **Upcoming Meetings**

The next meeting will be November 16, 2016.

#### **Adjournment**

A motion by Mr. Holmquist, seconded by Mr. Bernstein to adjourn was carried. (5:45 pm)

Respectfully submitted by: Sonja Reichertz, City Planner

# Springhaven Pagoda

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## Historic Preservation Plan

City of Monona Landmarks Commission

11/1/2016



This document is to serve as a decision making guide for the City of Monona Landmarks Commission, and other City of Monona elected and appointed decision makers to evaluate future preservation options for the Springhaven Pagoda, a City of Monona Landmark.

## Table of Contents

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|                                                                                                                                                                                     |    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
| Table of Contents .....                                                                                                                                                             | 1  |
| Acknowledgements .....                                                                                                                                                              | 2  |
| Purpose.....                                                                                                                                                                        | 3  |
| Brief History of Springhaven Pagoda .....                                                                                                                                           | 4  |
| Current Conditions.....                                                                                                                                                             | 9  |
| Evaluation of Treatment Approaches .....                                                                                                                                            | 16 |
| Recommended Treatment Approach.....                                                                                                                                                 | 19 |
| References .....                                                                                                                                                                    | 19 |
| Appendix.....                                                                                                                                                                       | 20 |
| <br>                                                                                                                                                                                |    |
| Figure 1: Artist's Sketch Titled "Cold Spring Pagoda" by J. Borqwardt.....                                                                                                          | 2  |
| Figure 2: c. 1951 image with handwritten notes: "Louise Revelle taking picture, Rosalee Berg in Background." .....                                                                  | 4  |
| Figure 3: Pagoda's basin c. 1951 .....                                                                                                                                              | 5  |
| Figure 4: 1899 Plat map of the west side of the Town of Blooming Grove.....                                                                                                         | 6  |
| Figure 5: View of the pagoda looking towards the lake, circa 1951.....                                                                                                              | 7  |
| Figure 6: View of the pagoda looking southwest, circa 1951.....                                                                                                                     | 7  |
| Figure 7: 1975 Herald Independent photo of vandalized pagoda. ....                                                                                                                  | 8  |
| Figure 8: Pagoda, September 20, 2016 .....                                                                                                                                          | 9  |
| Figure 9: Image of excavation on September 19, 2016 exposing the pagoda's foundation.....                                                                                           | 9  |
| Figure 10: Sketch of pagoda / plan view. September 19, 2016 .....                                                                                                                   | 10 |
| Figure 11: Section sketch of pagoda foundation. September 19, 2016.....                                                                                                             | 11 |
| Figure 12: Image of spring basin within pagoda. Note proximity of stone wall beyond. ....                                                                                           | 12 |
| Figure 13: Image of concrete column, beam and roof juncture. September 20, 2016 .....                                                                                               | 12 |
| Figure 14: Image of concrete roof. September 20, 2016.....                                                                                                                          | 13 |
| Figure 15: Image of roof edge. September 20, 2016. Note exposed barbed wire segment within concrete and relatively thin section of the roof edge as compared to the beam depth..... | 14 |
| Figure 16: Image of adjacent stone wall with excavation. September 20, 2016.....                                                                                                    | 15 |

## Acknowledgements

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Thank you to the following individuals for their contributions to this report.

### Landmarks Commission

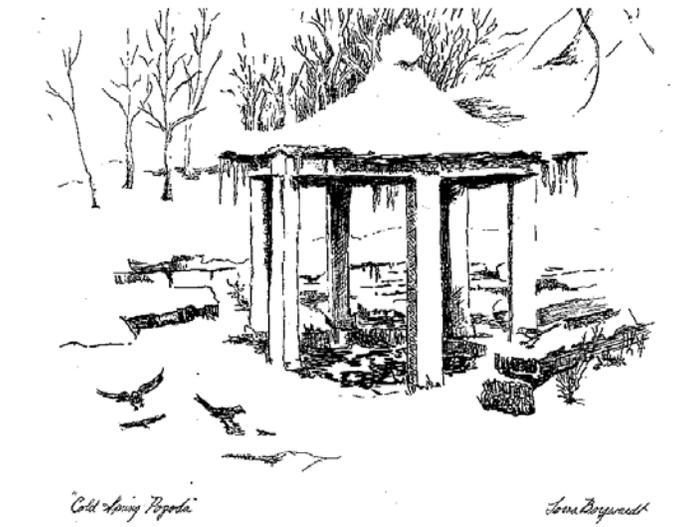
Alder Mary O'Connor, Chair  
Rebecca Holmquist, Citizen Member  
Branda Weix, Citizen Member  
Matthew Aro, Citizen Member  
Richard Bernstein, Citizen Member  
Anne Wellman, Citizen Member  
Sonja Reichertz, City Planner & Economic Development Director  
Sydney Prusak, Planning Intern

### Professional Input

Charles Quagliana, Preservation Architect was contracted by the Landmarks Commission to complete a condition assessment of the pagoda, summarize treatment options, provide a recommended treatment approach, and draft a report communicating the above work tasks to be integrated by City Staff into this preservation plan. The majority of the information contained in the Current Conditions, Evaluation of Treatment Approaches, and Recommended Treatment Approach sections of this Plan is creditable to Mr. Quagliana along with subcontracted structural engineer Kurtis Straus, Structural Integrity Inc.<sup>1</sup>

Charles Quagliana, Architectural Historian  
Jim Sewell, Retired State Preservation Architect  
Simon Levertt, Henry Frerk & Sons  
Mark Elmer, A&M Masonry

**Figure 1: Artist's Sketch Titled  
"Cold Spring Pagoda" by J.  
Borqwardt**



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<sup>1</sup> (Quagliana, 2016)

## Purpose

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The need for a Historic Preservation Plan is based on the understanding that each historic property represents a unique and irreplaceable resource. Even well intended restoration efforts can obscure the historic character of these unique resources. Preservation plans provide a framework with which to address potential changes to a historic resource during the planning process, explore alternative plans of action, and minimize loss, damage, or irreversible adverse effects on the resource. The Preservation Plan briefly outlines historical background and existing conditions. This background is not intended to be all-inclusive, but rather is limited to provide enough information to guide future treatment decisions. Ultimately, the Preservation Plan is a tool to guide decision making on the fate of this historic resource.

Various treatment options are available and should be considered. These options can include preservation, rehabilitation, restoration, or reconstruction as defined below.<sup>2</sup>

- **Preservation** is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of a historic property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. Preservation of the pagoda could include crack-filling of the original concrete.
- **Rehabilitation** is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, and architectural values. Rehabilitation of the pagoda could include replacement of its roof.
- **Restoration** is defined as the act or process of accurately depicting the form, features, and characteristics of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. Restoration of the pagoda could include replacing missing concrete on the pagoda roof.
- **Reconstruction** is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of *replicating* its appearance at a specific period of time and in its historic location. Reconstruction of the pagoda could demolition and reconstruction of a replica structure in a new location.

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<sup>2</sup> (New Jersey Office of Historic Preservation)

## Brief History of Springhaven Pagoda

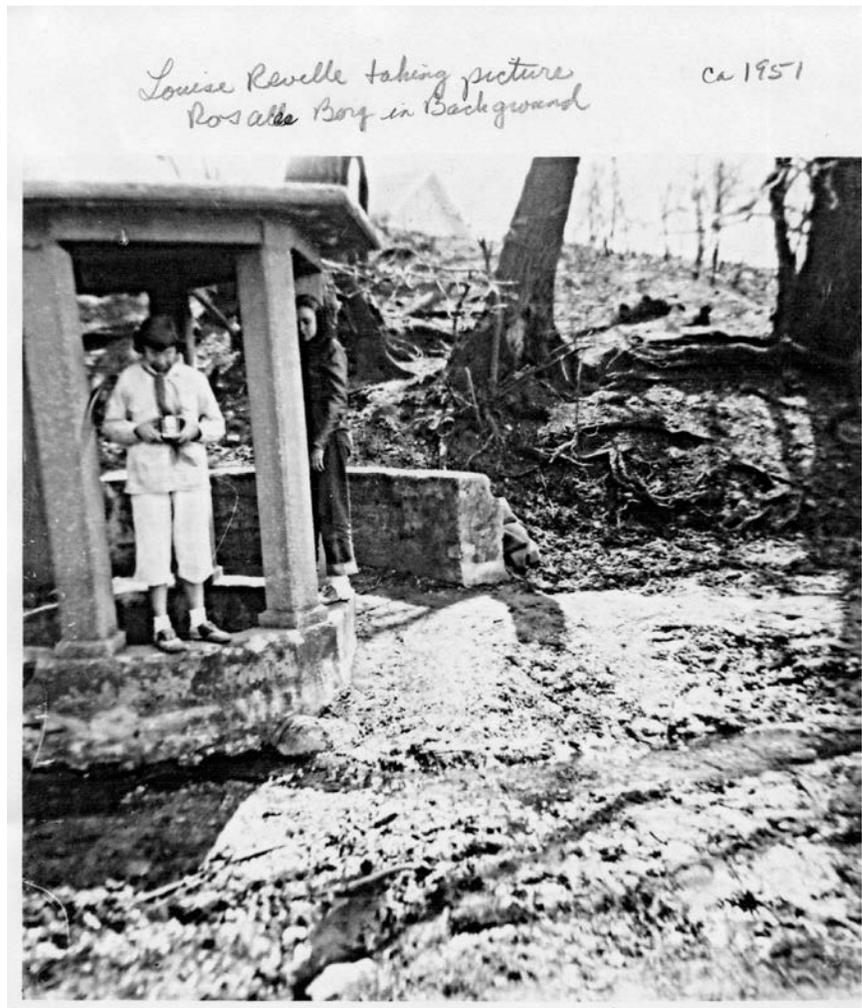
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The Springhaven Pagoda is a concrete structure hand-formed in the 1880s and located in Stone Bridge Park along Winnequah Road. This property is within a natural ravine sloping down from the road to Lake Monona. The property, with an outstanding view of central Madison, was part of the late 1880s holdings of Judge E. W. Keyes.

The pagoda was constructed over a natural spring at the bottom of the slopping terrain. Its original purpose was likely to protect the clear spring water from fallen leaves and other debris. Additionally, the structure serves a decorative purpose to honor the namesake of the Keyes property, which he called Springhaven.

<sup>3</sup>Keyes served as the Mayor of Madison in 1865 and again in 1886. He continued a life in politics as the chairman of the Republican State Central Committee and a member of the State Assembly. Nicknamed “Boss,” Keyes is noted as one of the most pivotal Wisconsin political figures of the 19<sup>th</sup> century.<sup>4</sup> Therefore, the heritage value of the pagoda lies in its association with Judge Keyes.

The Keyes’ farm was adjacent to the southern end of the Frank Allis property. In the early 1900s, the farm was divided into tracts for summer homes but the Stone Bridge Park ravine was kept as public property. A May 1911 advertisement for the newly platted Shore Acres subdivision described the former farm as “one of the most beautiful



**Figure 2: c. 1951 image with handwritten notes: "Louise Revelle taking picture, Rosalee Berg in Background."**

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<sup>3</sup> (Photo from the collection of Anne Waidelich, c. 1951)

<sup>4</sup> (City of Madison Landmarks Nomination Form)

locations in all the four lake region...the great spring with its setting in the deeply shaded ravine is a rare spot.”<sup>5</sup> Over time, many have enjoyed the serenity of the pagoda setting, with the surrounding wild flowers and fresh water from the spring. In earlier years, the children from Nichols School held their end-of-the-year picnics at the site and used the cool clear spring water to make their lemonade.<sup>2</sup>

The Springhaven Pagoda has managed to survive all these years and the natural spring water occasionally flows. A 2008 State Journal article began, “For more than a century, the small and graceful stone pagoda in Monona’s Stone Bridge Park



**Figure 3: Pagoda's basin c. 1951**

has stood sentinel-like over a historic and storied spring that long ago stopped flowing.” The article continued, “On a gloomy Monday afternoon, the normally dry basin beneath the somewhat battered concrete pagoda...was filled with clear and flowing water. The water bubbled up and trickled down to a small pool, and then into Lake Monona.”<sup>6</sup> Such springs were once common around the shores of the Madison lakes. A state hydrogeologist noted their disappearance as more water is pumped to serve the area’s growing population which lowers the groundwater level that feeds the springs. He said, “They’re a good measure of the status of the natural hydrogeologic groundwater levels. When they go away, you know we’ve changed the system.”<sup>7</sup>

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<sup>5</sup> (Stondall-Toftoy Company Advertisement, 1911)

<sup>6</sup> (Seely, 2008)

<sup>7</sup> *Ibid.*

<sup>8</sup> (Photo from the collection of Anne Waidelich, c. 1951)



Architecturally, the pagoda is significant as an extant example of early Wisconsin pioneer hand-made architecture created with a high level of craftsmanship as evident in the details, such as the chamfered column bases and the complex roof form. Simple and efficient in the use of materials, this concrete structure is a good remaining example of rural pioneer architecture and traditional craftsmanship. Although the pagoda shows the wear of both time and vandalism, it is hoped that this landmark can be restored to its original graceful charm.



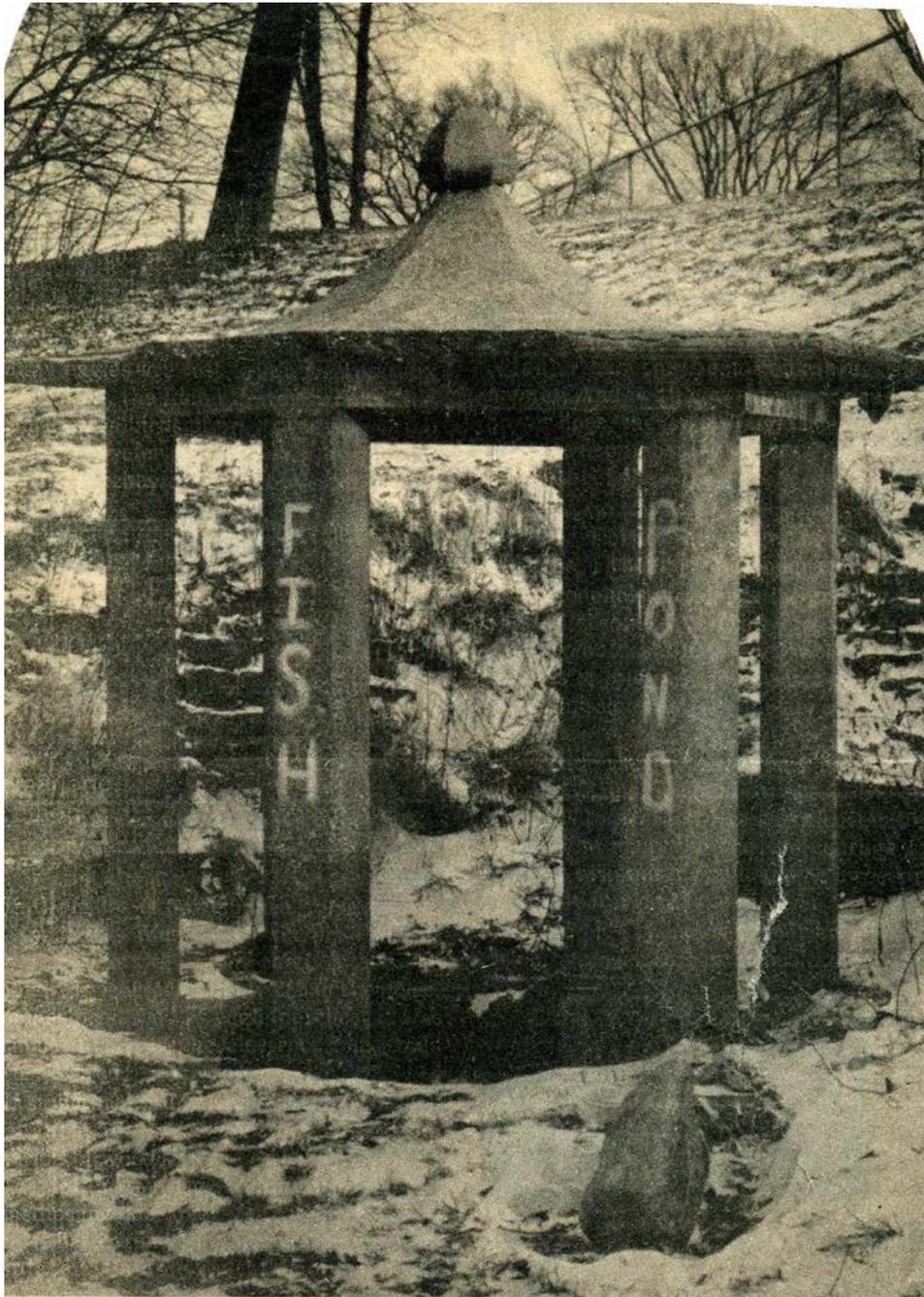
**Figure 5: View of the pagoda looking towards the lake, circa 1951**



**Figure 6: View of the pagoda looking southwest, circa 1951**

The above photos are some of only a few known older images showing the pagoda with the finial in place on its roof-top. The stone wall to the south of the pagoda is visible in the photo, and the pagoda's foundation is exposed, especially on the north side. The image on the following page from 1975 shows the finial is still in place at that time but had been vandalized.

Overall, the primary character-defining elements of the Springhaven Pagoda are the concrete construction, the simple form, frugal use of materials and the location on the shore of Lake Monona with the excellent view of downtown Madison.



*The ravaged pagoda*

The ancient concrete pagoda at the end of Monona's Parkway road on the shores of Lake Monona was vandalized in the fall. Besides the visible words, a neighborhood woman saw two girls paint the ball on the top of the structure as well as another word. The parents were notified of the deed; the paint remains.

—Herald photo

**Figure 7: 1975 Herald Independent photo of vandalized pagoda.**

## Current Conditions

### Condition of Foundation & Basin

The foundation of the pagoda is composed of uncoursed, squared rubble stone, mortared together and set in a circle to support the concrete structure above. This foundation rests upon a base of rounded rocks. The foundation is approximately 24 inches tall and 12 inches wide. Presently, the top of the foundation is even with the adjacent grade but historic images and excavation along the foundation indicate that original ground level was approximately 16 inches below the top of the foundation. Evidence indicates there may have been a stone walkway at this level around the perimeter of the pagoda.



**Figure 8: Pagoda, September 20, 2016**



**Figure 9: Image of excavation on September 19, 2016 exposing the pagoda's foundation**

Given the shallow depth of the foundations not extending below frost level, more movement and displacement of the foundation was expected than was actually present. It is theorized that the constant temperature of the spring water in the spring basin helps prevent the ground around the pagoda from freezing, thereby minimizing the potential for any heaving and displacement. The foundations are in good condition and are performing adequately. The stone walls should be tuck pointed with a Type O mortar.

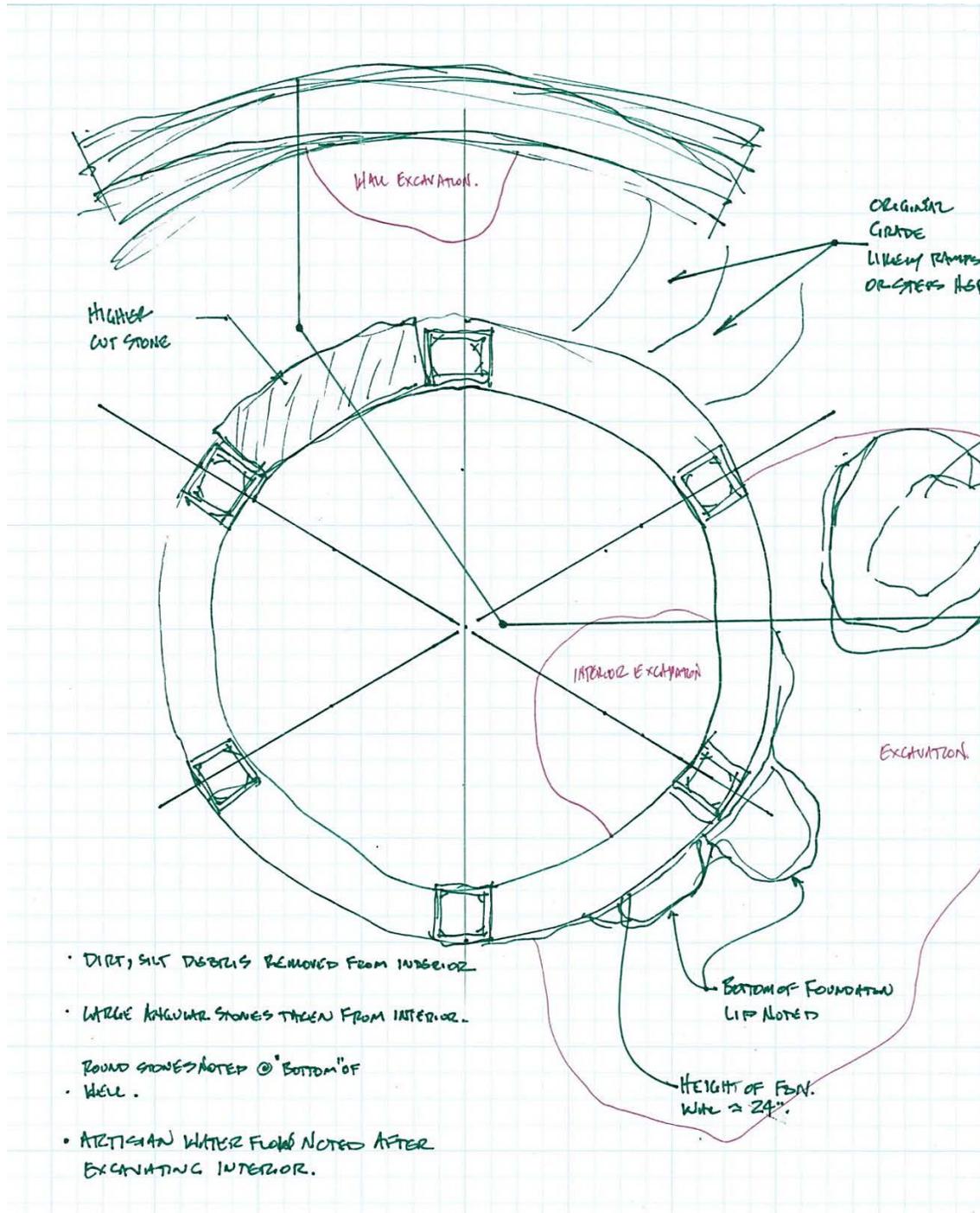
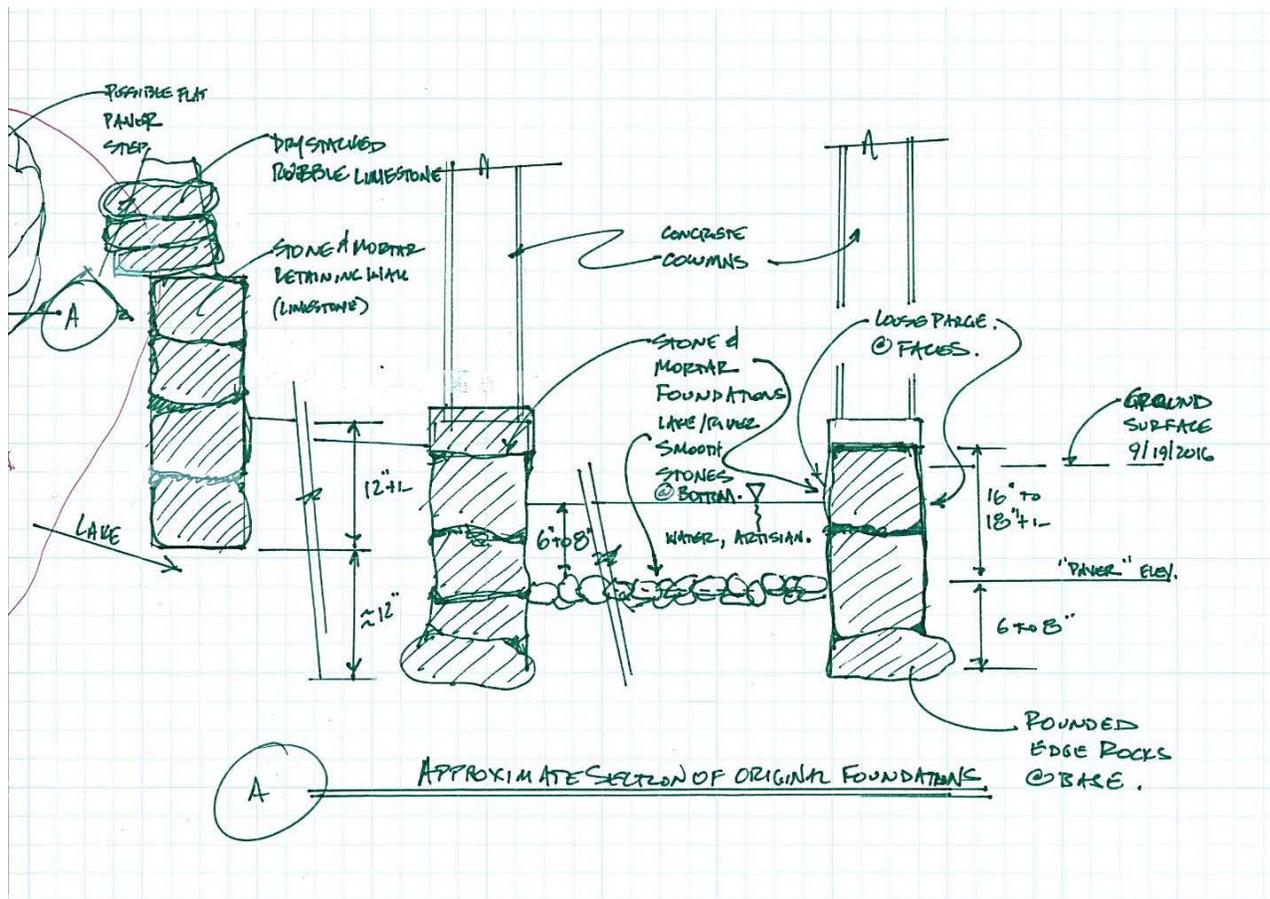


Figure 10: Sketch of pagoda / plan view. September 19, 2016

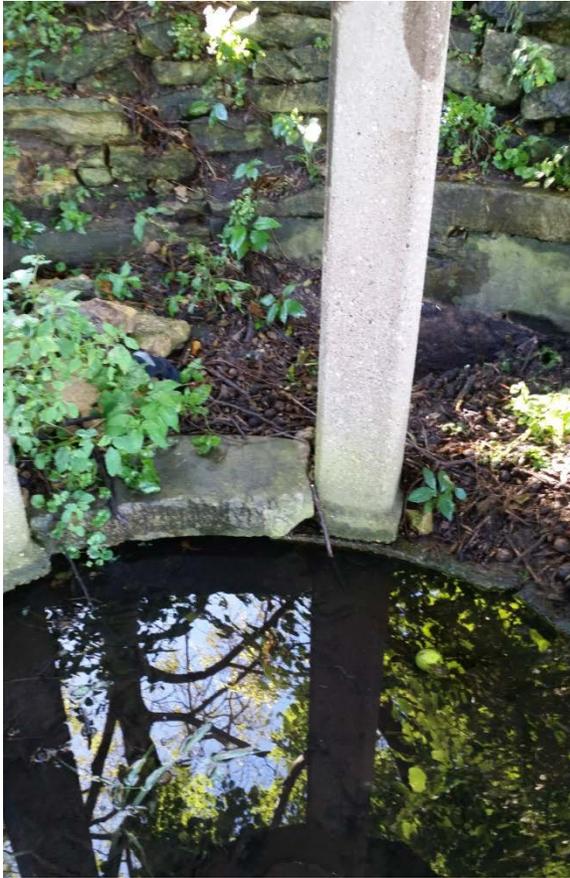
The stucco or parging covering the upper areas of the foundation wall and the interior of the spring basin is in poor condition. This coating provides a smooth and clean surface for the interior of the spring basin and a smooth surface for the top and sides of the foundation wall exposed to view. This surface is missing in many areas, loose in other locations and is at the end of its useful life. This parging will need to be completely replaced.

The basin is partially filled with debris and loose larger rocks. The bottom of the spring basin is lined with smooth stones placed about 8 inches below the water surface. See sketch below. The debris and large rocks will need to be removed, and the smooth stones removed to a depth of approximately 12 inches below the water level. This will facilitate the replacement of the parging. When parging is replaced, the smooth stones should then be replaced any missing stone replaced to provide a complete 6 inch layer of smooth stones.



**Figure 11: Section sketch of pagoda foundation. September 19, 2016**

Given the approximate date of construction of the pagoda sometime in the 1890's, the concrete is likely composed of locally sourced materials, including slaked lime, lake sand and coarse aggregate. There is likely no Portland cement content. The amount of reinforcing is not known but evidence of the use of lengths of barbed wire and various bolts is observed in the deteriorated edges of the roof structure. It is assumed that the columns have no reinforcing but are pinned to the foundation and beam above in some manner.



**Figure 12: Image of spring basin within pagoda.  
Note proximity of stone wall beyond.**

### **Condition of Columns**

The concrete columns and beams are in good condition. The elements are structurally sound, straight and plumb and are performing the intended purpose. The concrete in the 8 inch square columns, with chamfered corners, have few cosmetic imperfections. There is some erosion of the surface on the exposed sides but these columns need no repair. The 6-inch-deep concrete ring beam atop the columns also needs no repair. It appears that the horizontal beam and the upright columns were poured separately. The beams and columns retain a high degree of utility and life expectancy. Although discussed, an application of a Siloxane coating to the concrete surfaces, to resist moisture penetration, is not needed or recommended at this time.



**Figure 13: Image of concrete column, beam and roof juncture. September 20, 2016**

### **Condition of Roof**

The roof of the pagoda is in overall poor condition. More than 90% of the cantilevered overhang is missing or significantly deteriorated or damaged. This cantilevered portion is less than 3 inches in thickness but over 12 inches wide, therefore very vulnerable to breakage at the edges.

The central portion of the roof, directly over the spring, is in fair condition. Although it is structurally sound and performing its intended purpose, there is some deterioration and pitting of the upper surface. The level of porosity of the roof concrete is high and water easily penetrates the surface causing the imbedded steel (barbed wire and bolts) to rust. As these elements rust they expand resulting in cracks and spalling of the concrete edges and surfaces. Also note that the original crown finial is missing.

Another source of roof damage is by vandalism. It is apparent that vandals can easily gain access to the roof from the hill to the east and south. Vandals standing and jumping on the roof have likely contributed to the roof edge damage and failure of the concrete cantilever.



**Figure 14: Image of concrete roof. September 20, 2016**

### **Structural Stability**

It is the opinion of the structural engineer who made the on-site observations that the pagoda is currently in stable structural condition. With proper design by an engineer and with proper care, technical skill and craftsmanship provided by the contractor, the pagoda foundation and columns are capable of supporting a new replica roof.



**Figure 15: Image of roof edge. September 20, 2016. Note exposed barbed wire segment within concrete and relatively thin section of the roof edge as compared to the beam depth.**

### **Cultural Landscape**

A cultural landscape is defined as "a geographic area, including both cultural and natural resources, associated with a historic event, activity, or person or exhibiting other cultural or aesthetic values. Stone Bridge Park should be considered a Cultural Landscape because of how the Springhaven Pagoda relates to the larger context of the overall site, neighborhood and community.

Although the pagoda remains in its original location the land around it has changed significantly. A Cultural Landscape Plan for the property would be of tremendous benefit in planning for the future, especially if the goal is to balance modern usage of the property with historic preservation of the pagoda. The plan would be a guide to ensure a balance between historic preservation and the need to accommodate improvements for growing and changing uses of the site.

One additional remaining historical element of the site is the stone wall. The stone wall to the south of the pagoda is characterized by two distinct types of stone construction. The lowest, and probably original portion of the wall, is composed stone and mortar. The stone is coursed stone similar to that found in the pagoda foundation.

Above this wall and set back 6 inches is a loose laid dry stack wall composed of squared limestone. Some of these stones may have been salvaged from an original walkway around the base of the pagoda.

The stone wall may have been longer, extending to the east, but may have been impacted by the installation of the Madison Metropolitan Sewerage District sanitary sewer when it was installed parallel to Lake Monona in 1952. This sewer runs north to south approximately nine feet east of the pagoda.



**Figure 16: Image of adjacent stone wall with excavation. September 20, 2016**

## Evaluation of Treatment Approaches

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### 1. Do Nothing (In the Short-Term)

Given the present physical condition of the pagoda it is possible to defer preservation activities for some time. This is the least costly alternative in short term, however, left unprotected the condition of the pagoda will worsen and rate of deterioration will increase. Left unattended or appearing derelict, the pagoda is also vulnerable to vandals. If preservation treatments must be deferred for some time, measures should be taken to protect the pagoda from vandalism, such as installation of a plywood enclosure/cover. It should be noted that the cover would protect the pagoda, and perhaps serve as signage about a planned preservation project however the cover itself could then become the focus of vandals.

### 2. Restoration in Place

Given the uniqueness of the structure and how little it has been altered, restoration is a reasonable option. Materials and features would be retained and preserved. Deteriorated features, such as the roof, would be repaired rather than replaced. Missing features, such as the finial, would be replicated. This approach would involve careful in situ repairs and conservation of the concrete roof, repairing the roof edges by means of doweling on roof extensions composed of similar compatible materials and perhaps adding a minimal drip edge to the underside of the new concrete.

- This option may not provide long term durability to the roof edges from vandals.
- This option would require highly qualified and experienced conservators of concrete structures, specialized equipment and ideal weather conditions. This option would likely be the costliest in terms of first cost and likely require frequent monitoring of the stability of the repairs.
- Documentation of existing conditions, treatments and final outcomes should be provided by the conservator team.
- A potential conservator with expertise in concrete structures is:

Conservation of Sculpture & Objects Studio, Inc.  
900 S. Des Plaines Ave  
Forest Park, IL 60130

Consider lowering the grade adjacent to the pagoda to recreate conditions similar to those original, perhaps with a stone walkway surrounding the basin. Assuming the location of the existing sanitary sewer permits, the adjacent stone wall should be relocated and expanded. The goal is to move the wall back far enough from the roof edge to minimize the opportunity for vandals to climb up on the roof. A new gracefully curved stone wall would also provide a more aesthetic backdrop for the refurbished pagoda.

### 3. Rehabilitation in Place

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. Considering issues such as existing physical condition, historical significance to the community, potential for vandalism and probable costs for preservation, the suggested alternative is to replace the roof with a replica made of architectural precast concrete. This approach would require the services of an experienced preservation architect, structural engineer and contractor team.

#### Project Outline:

- The first step includes documenting the existing roof with a laser scan or making a mold of it. Area companies who do laser scanning include:

|                                |                       |
|--------------------------------|-----------------------|
| Sightline                      | Turis Systems         |
| 816 W National Ave, Suite A209 | 2802 Coho Street #102 |
| Milwaukee, WI 53204            | Madison, WI 53713     |

- The next step would be bracing and protection of the columns. The means and methods of this would be the responsibility of the engineer and contractor and will vary depending upon the engineer and contractor selected by the City of Monona.
- Bracing and protection would be followed by removal of the roof from the concrete beams by carefully saw cutting at the juncture of the beam and roof. Again, the means and methods would be the responsibility of the contractor. Minor repairs to the beams may be needed because of the cutting process.
- A new precast concrete roof would be made at a specialty precast fabricator. This process would involve samples and shop drawings for approval and likely a visit to the precast factory. The new roof would be designed for greater strength and stability to resist vandalism and Wisconsin weather and would include internal reinforcing composed of epoxy coated rebar designed by the fabricator.
- The new precast roof would be shipped to the site and installed by crane. The new roof would be pinned to the existing concrete beams with stainless steel pins and epoxy.
- The stone foundation walls should be repointed and the parging replaced.
- Documentation of existing conditions, new precast and final outcomes should be provided by the contractor.
- Potential Architectural Cast Stone (Precast) suppliers include:

|                      |                          |                       |
|----------------------|--------------------------|-----------------------|
| Stonecase            | Architectural Cast Stone | Advance Cast Stone    |
| N112W14343 Mequon Rd | 2775 Norton Creek Dr.    | State Hwy 144         |
| Germantown, WI 5302  | West Chicago, IL 60185   | Random Lake, WI 53075 |

This alternative is assumed to be a moderate cost option and would likely require the least amount of construction time.

Consideration should be given to lowering the grade adjacent to the pagoda to recreate conditions similar to those original, perhaps with a stone walkway surrounding the basin.

The current assumption is that the location of the existing sanitary sewer precludes expanding or relocating the adjacent stone wall. The goal would be to move the wall back far enough from the roof edge to minimize the opportunity for vandals to climb up on the roof. This likely cannot happen, however the stone wall can be improved. Non-original stones of the wall should be removed, the original wall repaired and perhaps expanded to the east. The refurbished stone wall would also provide a more aesthetic backdrop for the refurbished pagoda.

### **Planning**

The proposed preservation repair of the pagoda will require a substantial investment of capital, resources and time on the part of the City of Monona, supporters and stakeholders. The investment is motivated by their desire to preserve this unique property and honor the legacy of the Springhaven property.

One of the basic axioms of preservation work is that good planning leads to successful projects. The most influential factors affecting the ultimate outcome of a project often exist at the early stages of planning. Taking adequate time to plan, to cultivate support and to build consensus with stakeholders paves the way for successful fund-raising, preservation, public outreach and business operations.

This document, part of the initial project planning, recognizes and capitalizes on the opportunity to establish a project framework for the preservation of the pagoda in a logical and sequential manner. Accomplishment of this preservation and repair project is envisioned as a comprehensive effort of distinct but continuous activities.

The ideal implementation strategy is dependent upon several key issues:

- Availability and timing of the funding.
- The pace at which the City of Monona and stakeholders are able to reach consensus on proposed preservation treatments, repairs and related costs.
- Agreed-upon sequence of construction and phasing.

## Recommended Treatment Approach

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*Recommended overall treatment approach (preservation, rehabilitation, restoration, or reconstruction); recommended treatments for individual features or areas; Prioritization of recommendations and cost estimates. In the case of a recommended capital improvement project, a qualified consultant, such as a historic architect, is usually hired to prepare construction documents. Depending on the thoroughness of the document, additional testing or research may be needed prior to proceeding with the work.*

### Least Intervention Practical

In recognition of the historic and architectural significance of these buildings and the desire to preserve and use them for historical interpretation, the best course of action will be Rehabilitation as outlined in option 3 above.

## References

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- A & M Masonry LLC. (2016, February 16). Monona Pagoda. *Scope of Work*. Monona, WI.
- (n.d.). *City of Madison Landmarks Nomination Form*.
- Landmarks Commission. (1998, August 11). Meeting Minutes. Monona, WI.
- Landmarks Commission. (2006, August 15). Meeting Minutes. Monona, WI.
- New Jersey Office of Historic Preservation. (n.d.). *Historic Structure Reports and Preservation Plans: A Preparation Guide*.
- O'Connor, M. (2016, January 29). Springhaven Pagoda Repair Consultation. Monona, WI.
- Quagliana, C. J. (2016, October 11). Historic Preservation Architectural Services. Monona, WI.
- Seely, R. (2008, April 29). Long-dormant spring starts flowing. *Wisconsin State Journal*, pp. D1-D2.
- Stondall-Toftoy Company Advertisement. (1911, May 7). *Wisconsin State Journal*.

## Appendix

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This appendix contains references to previous City of Monona discussions and research relating to the Springhaven Pagoda. This list is not guaranteed to be all-inclusive, but provides background and references as a resource for anyone who wishes to review these materials and discussions in more depth.

### History of Pagoda Discussions in City of Monona

- For almost 20 years, the pagoda's deteriorating condition has been discussed at Landmarks Commission meetings.<sup>9</sup>
- It was once proposed that the Lake Monona Sailing Club take care of the pagoda maintenance and upkeep, since they lease docks at the Park.<sup>10</sup>
- A resolution was once brought forth by the Parks & Recreation board for Removal of the Pagoda at Stone Bridge Park at the Council meeting on August 21, 2006. The resolution was not passed.
- In late 2014 / early 2015, the Parks & Recreation Department hired a landscape architect to develop concepts for park improvements. During that time, the Parks Board considered moving the pagoda to the street. The Landmarks Commission advised against this, stating that the pagoda should be restored in its current location.
- In January 2016, Landmarks Commission representatives and staff met on site with Mark Elmer of A&M Masonry and Simon Leverett of Henry Frerk Sons.<sup>11</sup> Following the visit, Mr. Elmer supplied the Commission with an estimate for services (dated February 16, 2016) for crack injections to prevent further damage to the pagoda roof in the amount of \$1,500.<sup>12</sup> The proposed product for filling the roof cracks was Jahn M30 Micro Injection Grout. Retired State Preservation Architect Jim Sewell was asked his opinion on the effectiveness of the masonry crack injection product. In a February 29, 2016 email to Commissioner Rick Bernstein Mr. Sewell wrote:

*"I just inspected the pagoda and I am skeptical that the injection process that is being proposed will do much good... It seems clear to me that, given the loss of much of the overhang, as well as the porosity and delamination at the edges, the roof will continue to deteriorate to the point where the overhangs will eventually fail, at which time the underlying perimeter beam will begin to deteriorate...The big problem is that, in its existing condition, with no discernible drip edge or water control, water will continue to seep into the concrete where it will freeze and thaw and eventually destroy the pagoda's overhangs."*

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<sup>9</sup> (Landmarks Commission, 1998)

<sup>10</sup> (Landmarks Commission, 2006)

<sup>11</sup> (O'Connor, 2016)

<sup>12</sup> (A & M Masonry LLC, 2016)

- The 2016 Capital Budget shows Stone Bridge Park Engineering/Improvements as a 2018 project, with a total budget of \$100,000. The Landmarks Commission has discussed whether or not pagoda restoration should occur before or during the overall park improvements.

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Charles J. Quagliana, AIA  
Preservation Architect  
5641 Willoughby Road  
Mazomanie, WI 53560

HISTORIC PRESERVATION ARCHITECTURAL SERVICES  
for  
Springhaven Pagoda

July 25, 2016  
*Revised October 11, 2016*

Sonja Reichertz, AICP  
City Planner & Economic  
Development Director  
City of Monona  
5211 Schluter Road  
Monona, WI 53716

Dear Ms. Reichertz,

Thank you for the opportunity to provide you with a proposal for professional services related to the Springhaven Pagoda.

Based upon my previous experience, recent meeting on site, and my present understanding of the project, I would recommend the following scope of work.

**Mobilization**

- Meet with Landmarks Commission, or staff, to confirm scope of work and schedule
- Confirm City goals and objectives

**Condition Assessment**

- Conduct on-site observations and basic measurements of pagoda
- City of Monona crew excavates to expose foundations
- Take photos of existing conditions
- Possibly take sample of concrete for analysis
- Brief meeting on site at end of work day to discuss preliminary findings

### Treatment Options

- Review preliminary findings with two other preservation experts (PEER Review)
- Refine analysis and findings
- Define issues, concerns and areas for further analysis
- Develop recommendations and alternatives
- One review meeting with Landmarks Commission or staff

### Report

- Develop final text and illustrations for report
- Integrate photos and undertake final editing of report
- Final review and approval by Landmarks Commission
- Prepare a final report consisting of one volume of approximately 10 pages, MS Word, single column graphic layout, 8 1/2"x 11", color, electronic copy only.
- City of Monona will integrate this information in their draft *Springhaven Pagoda Historic Preservation Plan*.

### Professional Fee

Compensation is based upon hourly rates and related hours assigned to each defined task and reimbursable expenses. Payments for professional services will be made monthly, within 30 days of invoice, upon presentation of a detailed invoice. Any additional services beyond the scope of this proposal will be performed upon written authorization and will be compensated at the hourly rates noted below.

|                                   |                  |                   |
|-----------------------------------|------------------|-------------------|
| Mobilization/Condition Assessment | 10hrs/\$125/hr = | \$1,250           |
| Structural engineer               | 4hrs/\$135/hr =  | \$ 540            |
| Treatment Options/Report          | 13hrs/\$125/hr = | \$1,625           |
| Total                             |                  | <b>\$3,415.00</b> |

### Schedule

Summer – Fall 2016

GENERAL CONDITIONS

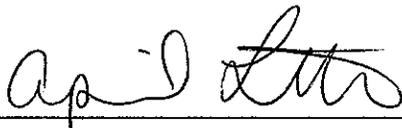
- The project is located in Stone Bridge Park on Winnequah Drive in Monona.
- The pagoda is a designated Monona Landmark.
- The consultant shall be provided full access to the property for the duration of time required to complete the work.
- City of Monona shall provide required information, documents, materials and relevant information, approvals, decisions and direction in a timely and efficient manner for the orderly progress of services.
- City of Monona will assemble and copy all relevant available historic documents and make them available to the consultant in electronic and editable format
- All proposed work will comply with National Park Service Standards and Guidelines
- Structural Engineer will be Kurt Straus of Structural Integrity, Inc., of Middleton, WI.
- Hazardous materials are not included in this scope of work
- In recognition of the relative risks, rewards and benefits of the project to both City of Monona and the consultant, the risks have been allocated such that City of Monona agrees that, to the fullest extent permitted by law, the consultants total liability to City of Monona for any and all injuries, damages, claims, losses, expenses or claim expenses arising out of the agreement from any cause or causes, shall not exceed the value of the contract
- This list is not all inclusive

I look forward to working with you on this proposed project.

Sincerely,

Charles J. Quagliana, AIA  
Preservation Architect

Approved



Date 10/13/16

[cjquaglianaarchitect.com](http://cjquaglianaarchitect.com)

CQ 7/25/2016 Revised 10/11/2016

Springhaven Pagoda Repair Consultation  
(Stone Bridge Park)

1/29/16

Rebecca Holmquist arranged for two concrete restoration specialists to examine the pagoda at Stone Bride Park and give us some ideas on what repairs might involve. Their names are Simon Leverett of Henry Frerk Sons of Chicago and Mark Elmer of A & M Masonry, Arlington, WI. Sonja and I met them there, representing the Landmarks Commission.

They pointed out that at least some of the concrete in the roof was poured over barbed wire. Rebar has also been used in spots. With the snow, it's hard to tell just what the pillars are placed on, but whatever it is seems stable. They wondered if there had been a pinnacle on the top of the pagoda. Sunny thought there was a ball and that's confirmed by some old pictures we have.

The pillars look to be in pretty good condition, but there has been a lot of deterioration in the roof. There is a large crack on the south side of the roof which should be repaired soon if we're not going to do any additional work for awhile. There's a masonry repair material that can be applied through a syringe-like instrument to fill in the crack. It won't strengthen it, but will prevent additional water from getting in there and cracking it even more. Given that we probably won't be doing anything with the pagoda for at least a year if not longer, it would be a good interim step. Simon took a picture of the crack and will send it to us. The concrete itself is pretty thin. Normally they would cut it into sections, put rebar or something similar into it and then put new concrete over that. Since it's so thin, they wouldn't be able to use the rebar. They do have a fairly new product that they think will work well instead.

Mark would actually do the work. He's going to put together two estimates for us based on time and materials. One would just cover the cost of filling in the crack in the roof. The second would cover the rest of the repairs.

We wouldn't be able to repair the crack until the weather is warmer. In the meantime, they recommended putting a tarp over the top to prevent more water from getting into the crack and making the situation worse.

Mary O'Connor



February 16, 2016

A & M Masonry LLC

P.O. Box 238

Arlington, WI 53911

P: 715.340.8787

Email: a.m.masonry238@gmail.com

Sonja Reichertz  
City of Monona  
5221 Schluter RD  
Monona, WI 53716

**RE: Monona Pagoda**

Dear Sonja,

I am pleased to submit my proposal for the Masonry Work at the above referenced facility based on our conversation and my site visit.

**Scope of Work:**

- Do crack injections so no further damage is done to the Pagoda.

**Clarifications:**

- This is a time and material bid with a rate of \$90.00 per hour.
- This bid does not include any type of patching or reconstruction of the Pagoda.

**Price:**

**Not to exceed One Thousand Five Hundred Dollars.....\$1,500.00**

**Payment Terms:**

**Full payment is expected within 7 days of completion of work stated herein.**

This proposal constitutes the contract between the parties until and unless it is replaced by a new document signed by the parties.

Thank you for this opportunity to quote. If you have any questions or require further details, please do not hesitate to contact me.

Sincerely,

*Mark Elmer*

Mark A. Elmer

**\*ACCEPTED:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

\*Signed acknowledgement of this proposal confirms acceptance to all above specifications.

# Long-dormant spring starts flowing

Record snowfall, spring rains likely account for the rebirth of Keyes' Spring in Monona.

BY RON SEELY  
rseely@madison.com  
608-252-6131

W55  
4-29-08

MONONA — For more than a century, the small and graceful stone pagoda in Monona's Stone Bridge Park has stood sentinel-like over a historic and storied spring that long ago stopped flowing. Though no one knows for sure when the spring last flowed, it has been so long ago that Ken Bradbury, a hydrogeologist with the Wisconsin Geological and Natural History Survey uses the spring in his speeches as an example of a natural resource that has been lost.

Perhaps, however, all is not lost. In recent days, Keyes' Spring has started flowing again, probably a gift of the harsh winter just passed.

News of the revived spring surfaced Friday in a blog by Doug Wood, a Monona alderman, and soon spread through

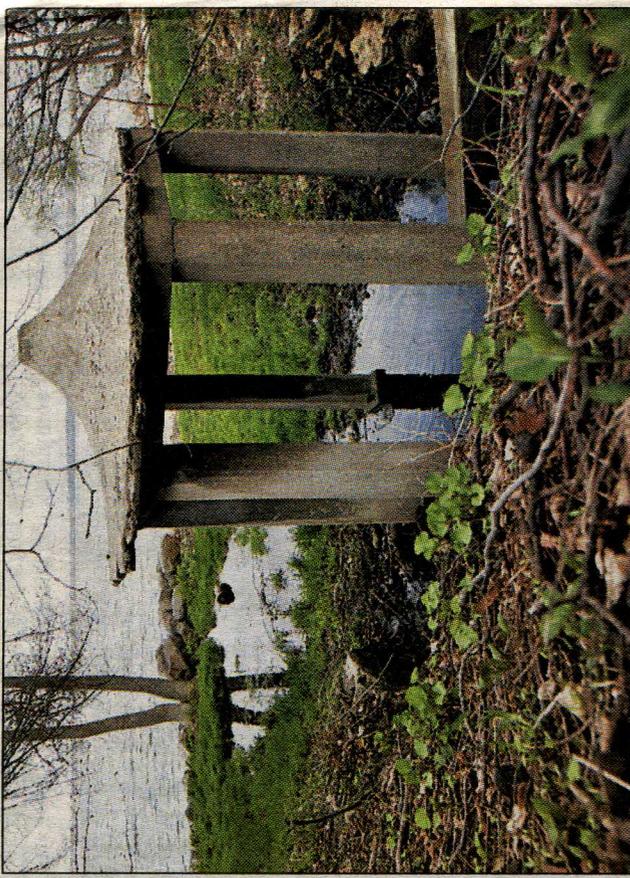
the small community of people who care about these natural curiosities.

Jake Anderson, parks and recreation director for Monona, said he has heard from several people about the spring flowing again, the first time in many decades it has come to life.

"It's taken everybody by surprise," Anderson said. "That's a very old and very historical part of the city."

On a gloomy Monday afternoon, the normally dry basin beneath the somewhat battered concrete pagoda, known as Spring Haven Pagoda, was filled with clear and flowing water. The water bubbled up and trickled down to a small pool and then into Lake Monona. Around the flowing spring water the grass was tall and mint green, bright even on an overcast day.

Part of the excitement about the resurrected spring stems from the site's long history. As noted in one historical account, the pagoda stands today as a reminder of a once pastoral setting



JOSEPH W. JACKSON III - State Journal

Having been dry for perhaps decades, the spring beneath Spring Haven Pagoda in Monona's Stone Bridge Park is flowing again this spring. It's possibly due to the heavy snowfall and recent rainfall.

Please see **SPRING**, Page D2

When the Elisha Keyes farm was subdivided for summer homes in the early 1900s, the spring site was protected by a park called Stone Bridge.

## Spring

Continued from Page D1

on the shore of the lake. The land was once a farm owned by Elisha W. Keyes, a former Madison mayor. Keyes so treasured the spring that he built the pagoda in the late 1800s to protect it. He named his farm Spring Haven.

In the early 1900s, the farm was subdivided into tracts for summer homes. But the ravine where the spring is was saved as a park. School children from nearby Nichols School held their end-of-the-year picnics in the park and make lemonade

mon around the shores of the Madison lakes. But Bradbury said they have disappeared as we pump more water to serve our growing population and lower the level of the groundwater that feeds the springs. The springs, he said, are essentially spots where the groundwater is present on Earth's surface.

"They're a natural feature," Bradbury said. "They're a part of the natural system and they're a good measure of the status of the natural hydrogeologic system. When they go away, you know we've changed the system."

Bradbury said this season's record snowfall and recent rains probably account for the

to higher groundwater levels. He doubts the flow will last long.

Though the water in the spring seems clear enough, Bradbury recommended against drinking it or any other spring water because of possible contaminants.

And though it is heartening to see the spring flowing again, it is apparent the little pagoda has seen better days and the spring itself is marred by debris, including construction timbers and litter. Perhaps, Anderson said, this will spur some interest in cleanup and repair work.

In the meantime, the gurgle of spring water beneath the pagoda is a fine sign of spring

Charles J. Quagliana, AIA  
Preservation Architect  
5641 Willoughby Road  
Mazomanie, WI 53560

PRESERVATION REPORT  
for  
Springhaven Pagoda

October 26, 2016

**Introduction**

The primary focus of the report is to document the condition of the Springhaven Pagoda and components, and then develop strategies for its Preservation.

The contents of this report will be integrated into the Springhaven Pagoda Historic Preservation Plan being prepared by the City of Monona Landmarks Commission.

The observations and recommendations presented in this report are based upon the limited condition assessments conducted on September 19<sup>th</sup>, 2016 by Kurt Straus, PE, Structural Engineer, and on September 20<sup>th</sup>, 2016 by Preservation Architect Charles Quagliana. The purpose of the limited condition survey was to assess and document the physical condition of the pagoda. Architectural and structural elements were examined to identify their type and determine their condition. Excavation was done along the lake side of the pagoda and along the downhill side of the adjacent stone wall to partially expose the foundations. This work was accomplished by a City of Monona crew.



*Springhaven Pagoda, September 20, 2016*

The pagoda is located in Stone Bridge Park along Winnequah Road. This property is within a natural ravine sloping down from the road to Lake Monona. The property, with an outstanding view of central Madison, was part of the late 1880's holdings of Judge E. W. Keyes . The pagoda is constructed over a natural spring.

### **Historical Association**

The original purpose of the pagoda was likely to protect the spring from fallen leaves and other debris. Additionally, the structure serves a decorative purpose to honor the namesake of the Keyes property called Springhaven. Therefore, the heritage value of the pagoda lies in its association with Judge Keyes. Architecturally the pagoda is significant as an extant example of early Wisconsin pioneer hand-made architecture created with a high level of craftsmanship as evident in the details, such as the chamfered column bases and the complex roof form. Simple and efficient in the use of materials, this concrete structure is a good remaining example of rural pioneer architecture and traditional craftsmanship.



*View of the Pagoda, circa 1951*

Courtesy of <http://www.bloomingtonhistory.org/>

The above photo is the only known older image showing the pagoda with the finial in place. At this time the roof edges are already damaged and portions missing. The stone wall just south of the Pagoda is visible in the photo.

### **Character Defining Elements**

The primary character-defining elements of the Springhaven Pagoda are the concrete construction, the simple form, frugal use of materials and the location on the shore of Lake Monona with the excellent view of downtown Madison.

### **Broad Preservation Objectives**

Historic structures provide a tangible link to our past and contribute to the community's identity. When considering an historic preservation project for a significant structure, general adherence to prescribed guidelines will typically lead to successful outcomes. The following are broad guiding principles of Historic Preservation.

- Provide a stable and structurally sound structure.
- Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the property should be preserved and retained to the greatest extent possible.
- Deteriorated historic features should be repaired rather than replaced.

- All proposed work shall conform to the Secretary of the Interiors Standards.



*View of the Pagoda, September 20, 2016.*

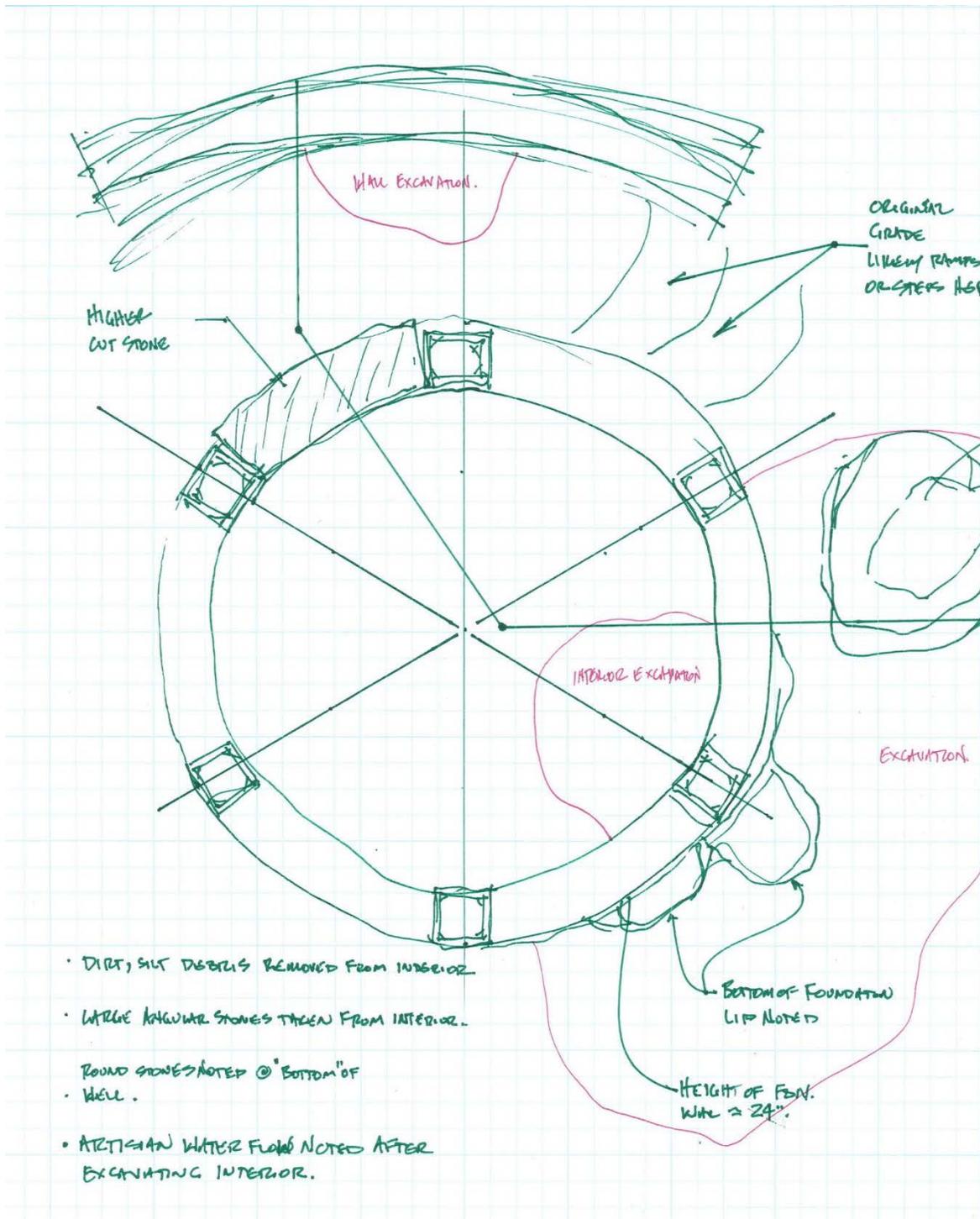
### **Condition Assessment**

The foundation of the pagoda is composed of uncoursed, squared rubble stone, mortared together and set in a circle to support the concrete structure above. This foundation rests upon a base of rounded rocks. The foundation is approximately 24 inches tall and 12 inches wide. Presently the top of the foundation is even with the adjacent grade but historic images and excavation along the foundation indicate that original ground level was approximately 16 inches below the top of the foundation. Evidence indicates there may have been a stone walkway at this level around the perimeter of the pagoda.



*Image of excavation on September 19, 2016 exposing foundation of Pagoda. Note depth of exposed foundation wall. See also attached sketch on page 7.*

Given the shallow depth of the foundations, not extending below frost level, more movement and displacement of the foundation was expected. It is theorized that the constant temperature of the spring water in the spring basin helps prevent the ground around the pagoda from freezing, thereby minimizing the potential for any heaving and displacement. The foundations are in good condition and performing adequately. The stone walls should be tuck pointed with a Type O mortar.



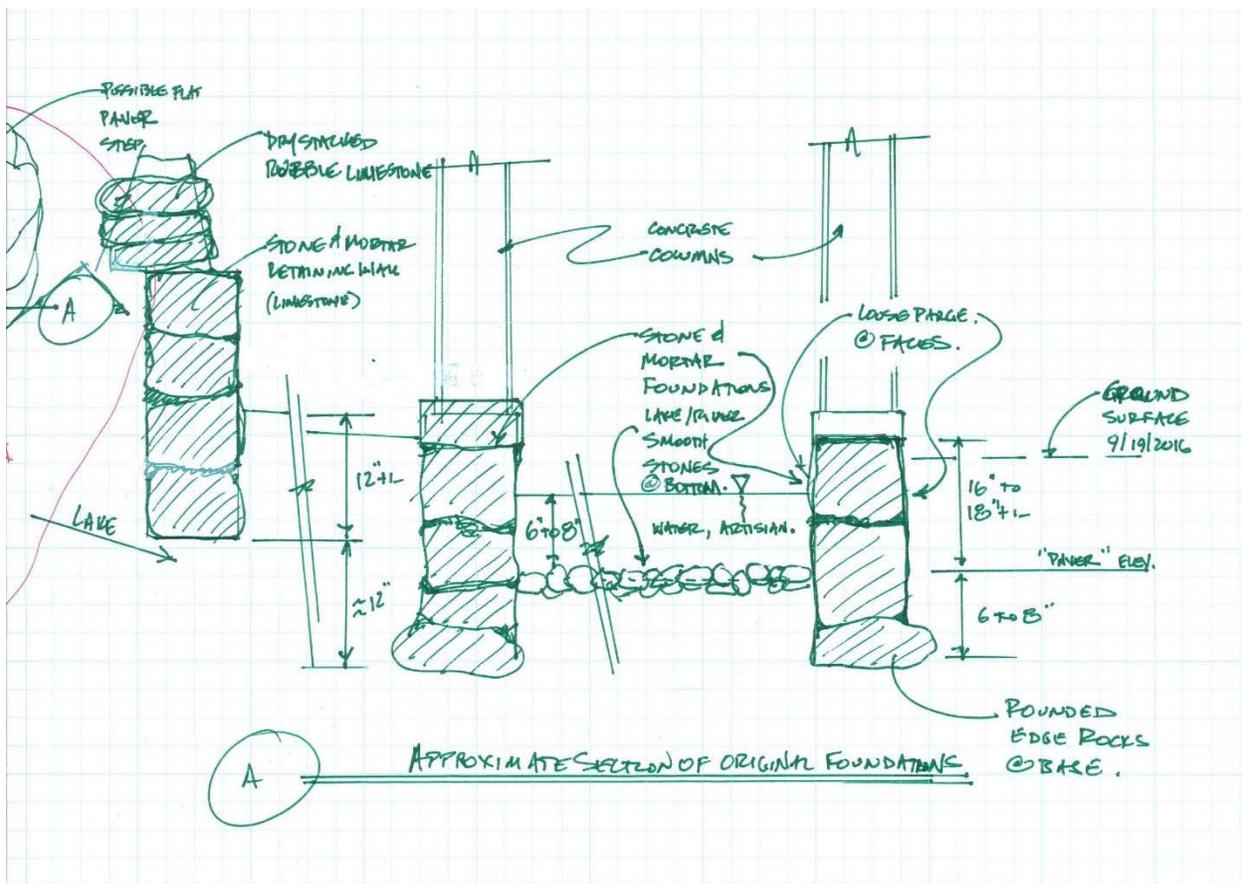
Sketch of base of Pagoda/plan view. September 19, 2016.

Also see related section sketch on page 7.

The stucco or parging covering the upper areas of the foundation wall and the interior of the spring basin is in poor condition. This coating provides a smooth and clean surface for the interior of the spring basin and a smooth surface for the top and sides of the foundation wall exposed to view. This surface is missing in many areas, loose in other locations and is at the end of its useful life. This parging will need to be completely replaced.

The basin is partially filled with debris and loose larger rocks. The bottom of the spring basin is lined with smooth stones placed about 8 inches below the water surface. See sketch on page 7. The debris and large rocks will need to be removed, and the smooth stones removed to a depth of approximately 12 inches below the water level.

This will facilitate the replacement of the parging. When parging is replaced the smooth stones should then be replaced any missing stone replaced to provide a complete 6 inch layer of smooth stones.



Section sketch of Pagoda Foundation. September 19, 2016

Given the approximate date of construction of the pagoda sometime in the 1890's, the concrete is likely composed of locally sourced materials, including slaked lime, lake sand and coarse aggregate. There is likely no Portland cement content.

The amount of reinforcing is not known but evidence of the use of lengths of barbed wire and various bolts is observed in the deteriorated edges of the roof structure. It is assumed that the columns have no reinforcing but are pinned to the foundation and beam above in some manner.



*Image of spring basin within Pagoda. Note proximity of stone wall beyond.*

The concrete columns and beams are in good condition. The elements are structurally sound, straight and plumb and performing the intended purpose. The concrete in the 8 inch square columns, with chamfered corners, have few cosmetic imperfections. There is some erosion of the surface on the exposed sides but these columns need no repair. The 6-inch-deep concrete ring beam atop the columns also needs no repair. It appears that the horizontal beam and the upright columns were poured separately. The beams and columns retain a high degree of utility and life expectancy. Although discussed, an application of a Siloxane coating to the concrete surfaces, to resist moisture penetration, is not needed or recommended at this time.



*Image of concrete column, beam and roof juncture, September 201, 2016.*

The roof of the pagoda is in overall poor condition. More than 90% of the cantilevered overhang is missing or significantly deteriorated or damaged. This cantilevered portion is less than 3 inches in thickness but over 12 inches wide, therefore very vulnerable to breakage at the edges.

The central portion of the roof, directly over the spring, is in fair condition. Although it is structurally sound and performing its intended purpose, there is some deterioration and pitting of the upper surface.

The level of porosity of the roof concrete is high and water easily penetrates the surface causing the imbedded steel (barbed wire and bolts) to rust. As these elements rust they expand resulting in cracks and spalling of the concrete edges and surfaces. Also note that the crown finial is missing.

Another source of roof damage is by vandalism. It is apparent that vandals can easily gain access to the roof from the hill to the east and south. Vandals standing and jumping on the roof have likely contributed to the roof edge damage and failure of the concrete cantilever.



*Image of concrete roof, September 20, 2016.*

It is the opinion of the structural engineer who made the on-site observations that the Pagoda is currently in stable structural condition. With proper design by an engineer and with proper care, technical skill and craftsmanship provided by the contractor, the Pagoda foundation and columns are capable of supporting a new replica roof.



*Image of roof edge, September 20, 2016.*

*Note exposed barbed wire segment within concrete and relatively thin section of the roof edge as compared to the beam depth.*

### **Cultural Landscape**

A cultural landscape is defined as "a geographic area, including both cultural and natural resources, associated with a historic event, activity, or person or exhibiting other cultural or aesthetic values. Stone Bridge Park should be considered a Cultural Landscape because of how the Springhaven Pagoda relates to the larger context of the overall site, neighborhood and community.

Although the pagoda remains in its original location the land around it has changed significantly. A Cultural Landscape Plan for the property would be of tremendous benefit in planning for the future, especially if the goal is to balance modern usage of the property with historic preservation of the pagoda.

The plan would be a guide to ensure a balance between historic preservation and the need to accommodate improvements for growing and changing uses of the site.

One additional remaining historical element of the site is the stone wall. The stone wall to the south of the pagoda is characterized by two distinct types of stone construction. The lowest, and probably original portion of the wall, is composed stone and mortar. The stone is coursed stone similar to that found in the pagoda foundation.

Above this wall and set back 6 inches is a loose laid dry stack wall composed of squared limestone. Some of these stones may have been salvaged from an original walkway around the base of the pagoda.

The stone wall may have been longer, extending to the east, but may have been impacted by the installation of the Madison Metropolitan Sewerage District sanitary sewer when it was installed parallel to Lake Monona in 1952. This sewer runs north to south approximately nine feet east of the pagoda.



*Image of adjacent stone wall, September 20, 2016*

## Treatment Options

### Three Options

#### 1 Do nothing, (in the short term).

Given the present physical condition of the pagoda it is possible to defer preservation activities for some time. This is the least costly alternative in short term, however, left unprotected the condition of the pagoda will worsen and rate of deterioration will increase. Left unattended or appearing derelict, the pagoda is also vulnerable to vandals. If preservation treatments must be deferred for some time, measures should be taken to protect the pagoda from vandalism, such as installation of a plywood enclosure/cover. It should be noted that the cover would protect the Pagoda, and perhaps serve as signage about a planned preservation project, however the cover itself could then become the focus of vandals.

#### 2 Restoration in place.

Given the uniqueness of the structure and how little it has been altered, restoration is a reasonable option. Materials and features would be retained and preserved. Deteriorated features, such as the roof, would be repaired rather than replaced. Missing features, such as the finial, would be replicated. This approach would involve careful in situ repairs and conservation of the concrete roof, repairing the roof edges by means of doweling on roof extensions composed of similar compatible materials and perhaps adding a minimal drip edge to the underside of the new concrete.

This option may not provide long term durability to the roof edges from vandals.

This option would require highly qualified and experienced conservators of concrete structures, specialized equipment and ideal weather conditions. This option would likely be the costliest in terms of first cost and likely require frequent monitoring of the stability of the repairs.

Documentation of existing conditions, treatments and final outcomes should be provided by the conservator team.

A potential conservator with expertise in concrete structures is:

**Conservation of Sculpture & Objects Studio, Inc.**

900 S. Des Plaines Ave

Forest Park, IL 60130

Consider lowering the grade adjacent to the pagoda to recreate conditions similar to those original, perhaps with a stone walkway surrounding the basin.

Assuming the location of the existing sanitary sewer permits it, the adjacent stone wall should be relocated and expanded. The goal is to move the wall back far enough from the roof edge to minimize the opportunity for vandals to climb up on the roof. A new gracefully curved stone wall would also provide a more aesthetic backdrop for the refurbished pagoda.

3 Rehabilitation in place.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Considering issues such as existing physical condition, historical significance to the community, potential for vandalism and probable costs for preservation, the suggested alternative is to replace the roof with a replica made of architectural precast concrete. This approach would require the services of an experienced preservation architect, structural engineer and contractor team.

The first step includes documenting the existing roof with a laser scan or making a mold of it. Area companies who do laser scanning include:

**Sightline**

816 W. National Ave.  
Suite A209  
Milwaukee, WI 53204

**Turis Systems**

2802 Coho Street, # 102  
Madison, WI 5371Area c

The next step would be bracing and protection of the columns. The means and methods of this would be the responsibility of the engineer and contractor and will vary depending upon the engineer and contractor selected by the City of Monona.

Bracing and protection would be followed by removal of the roof from the concrete beams by carefully saw cutting at the juncture of the beam and roof. Again, the means and methods would be the responsibility of the contractor. Minor repairs to the beams may be needed because of the cutting process.

A new precast concrete roof would be made at a specialty precast fabricator. This process would involve samples and shop drawings for approval and likely a visit to the precast factory. The new roof would be designed for greater strength and stability to resist vandalism and Wisconsin weather and would include internal reinforcing composed of epoxy coated rebar designed by the fabricator.

The new precast roof would be shipped to the site and installed by crane. The new roof would be pinned to the existing concrete beams with stainless steel pins and epoxy.

The stone foundation walls should be repointed and the parging replaced.

Documentation of existing conditions, new precast and final outcomes should be provided by the contractor.

Potential Architectural Cast Stone (Precast) suppliers include:

| <b>Stonecast</b>                            | <b>Architectural Cast Stone</b>                 | <b>Advance Cast Stone</b>              |
|---------------------------------------------|-------------------------------------------------|----------------------------------------|
| N112WI4343 Mequon Rd<br>Germantown, WI 5302 | 2775 Norton Creek Dr.<br>West Chicago, IL 60185 | State Hwy 144<br>Random Lake, WI 53075 |

This alternative is assumed to be a moderate cost option and would likely require the least amount of construction time.

Consideration should be given to lowering the grade adjacent to the pagoda to recreate conditions similar to those original, perhaps with a stone walkway surrounding the basin.

The current assumption is that the location of the existing sanitary sewer precludes expanding or relocating the adjacent stone wall. The goal would be to move the wall back far enough from the roof edge to minimize the opportunity for vandals to climb up on the roof. This likely cannot happen, however the stone wall can be improved. Non-original stones of the wall should be removed, the original wall repaired and perhaps expanded to the east. The refurbished stone wall would also provide a more aesthetic backdrop for the refurbished Pagoda.

### **Planning**

The proposed preservation repair of the pagoda will require a substantial investment of capital, resources and time on the part of the City of Monona, supporters and stakeholders. The investment is motivated by their desire to preserve this unique property and honor the legacy of the Springhaven property.

One of the basic axioms of preservation work is that good planning leads to successful projects. The most influential factors affecting the ultimate outcome of a project often exist at the early stages of planning. Taking adequate time to plan, to cultivate support and to build consensus with stakeholders paves the way for successful fund-raising, preservation, public outreach and business operations.

This document, part of the initial project planning, recognizes and capitalizes on the opportunity to establish a project framework for the preservation of the pagoda in a logical and sequential manner. Accomplishment of this preservation and repair project is envisioned as a comprehensive effort of distinct but continuous activities.

The ideal implementation strategy is dependent upon several key issues:

- Availability and timing of the funding.
- The pace at which the City of Monona and stakeholders are able to reach consensus on proposed preservation treatments, repairs and related costs.
- Agreed-upon sequence of construction and phasing.

#### **Least Intervention Practical**

In recognition of the historic and architectural significance of these buildings and the desire to preserve and use them for historical interpretation, the best course of action will be Rehabilitation as outlined in option 3 above.

*End report/ October26, 2016*

## Landmarks Commission Feedback on Draft Report from Charles Quagliana

### Information to Gather:

- A radio announcement will run asking the public if anyone has old photos of the Pagoda.
- Matt volunteered to draw details of the roof to help with developing a mold for a replacement.
- Sonja shared draft plan with Jake Anderson. The Commission wishes to keep the Parks & Rec. Board involved in our progress. The Commission will ask to be involved in Parks Board discussions regarding site improvements around the pagoda. Ideas include recreating the stepped walkway around the structure, repairing the retaining wall, adding lighting, and possibly a gravel and stone swale to guide water towards the lake. Sonja will check on the status of the Stone Bridge Park improvements in the capital budget.
- The Commission talked about a future fundraising campaign. It could be called “raise the roof” and we could discuss a targeted approach to asking groups or individuals for donations. We could also put a nice cover on the final report, bind the document, and use it during fundraising efforts.
- Sonja checked with GIS Staff for the date of the sewer line running through the site. They said it was constructed in 1952.
- Sonja will make sure the reports, once combined, communicate the historic significance concisely.

### Feedback and Requests for Revisions for Charles Quagliana:

- Rick asked to make sure the c. 1951 photos are included in the report. Sonja noted that she will combine Charlie’s report and her report into one document. Rick noted that there may be more clues in the c. 1951 photo. For example, it looks like the stone above the wall was added later, and that it is not of the same historical period as the retaining wall. What is Charlie’s take on the c. 1951 photo and what that photo reveals about the surrounding landscape and adjacent retaining wall? If the sewer was added in 1952, this photo would have been taken just before that, which might give us a target date for the restoration of the surrounding landscape features. The report doesn’t give us a lot of detail about the surrounding landscape, but I think it is important to explore and discuss.
- The date of construction should be fixed in the report. We know it was 1890s, not mid to late 1800s.

- Can Charlie provide names or recommendations of concrete companies, both on the expert side and the more traditional concrete companies so the Landmarks Commission can get quotes?
- Ask Charlie for his more formal recommendation on the enclosure. If he thinks it should be done, then maybe Public Works can build one. Sonja said Charlie pointed out a plywood box could invite more vandals than there currently are anyway.
- Ask Charlie if the mortar in foundation stones should be repaired.
- How much does the laser / 3D Scanning cost and who would do this work? Can Charlie give us recommendations?
- Can the process for repair and replace be more technically laid out in the report, in more detail?
- Can we have a more formal statement in the report from the structural engineer regarding the structure's stability, foundations, columns, and ability to hold a new roof?
- Can the structural engineer include technical comments/specifications on how the steel would need to be added to a new roof? And how the columns would need to be braced during construction?
- On page 3 of the report, Charlie wrote that repair is preferable to replacement. Please have him clarify. Is this a recommendation or general statement? Because it seems that he thought replacement was a good option in this case. Similarly, on page 13, the last paragraph implies that preservation is the best course of action.
- Add Kurt's sketches.
- On page 5, Charlie wrote about replacing the parging. Is he recommending this? Can he make it more clear what is needed? Can he lay out the technical process?
- Can he clarify what his recommendation is regarding cleaning out the interior basin and technically, how the stones should be replaced?
- Include details in the report about sawing off the existing roof if the Commission chose to go with replacement.
- Overall, please add more technical direction and recommendations to the report.

**Sec. 13-1-64 Historic Conservation.**

- (a) **Purpose and Intent.** The protection, enhancement, perpetuation and use of improvements of special character or special historical interest or value are in the public interest. The purpose of historic conservation is to:
- (1) Protect, enhance and perpetuate improvements and districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
  - (2) Safeguard the city's historic and cultural heritage, as embodied and reflected in such landmarks and historic districts;
  - (3) Stabilize and improve property values;
  - (4) Foster civic pride in the beauty and noble accomplishments of the past;
  - (5) Protect and enhance the city's attractions to residents, tourist and visitors, and serve as a support and stimulus to business and industry;
  - (6) Strengthen the economy of the city; and
  - (7) Promote the use of historic districts and landmarks for the education, pleasure and welfare of the people of the city.
- (b) **Definitions**
- (1) **Landmark.** Any improvement which has a special character or special historic interest or value as part of the development, heritage or cultural characteristics of the city, state or nation, and which has been designated as a landmark pursuant to the provisions of this Chapter.
  - (2) **Landmark Site.** Any parcel of land of historic significance due to a substantial value in tracing the history of aboriginal people, or upon which an historic event has occurred, and which has been designated as a landmark site under this Chapter, or a parcel, or part thereof, on which is situated a landmark.
- (c) **Designation.** The Common Council, after considering the recommendation of the Landmarks Commission under sub. (g) below, may designate a landmark according to this section.
- (d) **Landmarks and Landmark Sites Designation Criteria.** The Landmarks Commission may designate as a landmark or landmark site any site, natural or improved, including any building, improvement or structure located thereon, or any area of particular historical, architectural or cultural significance to the city, such as historic structures or sites which:
- (1) Exemplify or reflect the broad cultural, political, economic or social history of the nation, state or community; or
  - (2) Are associated with the lives of important persons or with important events in national, state or local history; or
  - (3) Embody the distinguishing characteristics of an architectural type inherently valuable for a study of a period, style, method of construction or of indigenous materials or craftsmanship; or
  - (4) Are representative of the notable work of a master builder, designer, or architect; or.
  - (5) Exhibit important archaeological or anthropological significance.
- (e) **Nomination.** Any person may nominate a site, improvement, or site with improvements for designation as a landmark. The person shall submit the nomination to the City Planning Division, to the attention of the City Planner, on a nomination form approved by the Landmarks Commission. The nomination shall clearly identify the proposed landmark, landmark site, and document why it qualifies under sub. (d). The City Planner may ask the person to submit additional information and documentation as needed to complete or clarify the nomination. When the City Planner determines that the nomination is complete, the City Planner shall refer the nomination to the Landmarks Commission.
- (f) **Landmarks Commission Review and Public Hearing.** Whenever the Landmarks Commission receives a complete, accurate nomination under sub. (e), the Commission shall review the nomination. As part of its review, the Commission shall hold a public hearing on the nomination, preceded by a Class 2 notice and notice to each owner of record on each lot on which the proposed landmark is located, and to each owner of record of each lot located within two hundred (200) feet of the lot on which the proposed landmark is located. The Commission may also conduct its own investigation of the facts, as it deems necessary.
- (g) **Landmarks Action.** After the Landmarks Commission holds a public hearing and completes its review under sub. (f), the Commission shall report to the Common Council a recommendation supporting or opposing the proposed landmark designation. The Commission shall send notice of the recommendation to each owner of record on each lot on which the proposed landmark is located, and to each owner of record of each lot located within two hundred (200) feet of any lot on which the site or structure is located, at least 10 days before any meeting at which the Common Council may act on the Commission's recommendation. **Any property nominated for landmark status located within a**

redevelopment area or tax increment financing district shall be referred to the Community Development Authority for review prior to Common Council Action.

- (h) **Common Council Action.** After considering the Landmark Commission's report recommendation under sub. (g), and based on the standards under sub. (d), the Common Council shall vote to designate or decline to designate the property as a landmark. The City Clerk shall promptly notify the Building Inspector of each landmark designation. The City Clerk shall record the designation with the Dane County Register of Deeds at the City's expense.
- (i) **Voluntary Supplemental Restrictions.** The Common Council may at any time supplement the terms of a landmark designation, pursuant to an agreement between the landmark owner and the Landmarks Commission, to enhance the preservation and protection of the landmark.
- (j) **Recognition of Landmarks.** Whenever the Common Council designates a landmark under sub. (h), the Landmarks Commission shall affix a plaque identifying the property as a landmark to the landmark or landmark site with the permission of the owner, or in the absence of permission in the public right of way as approved by the Public Works Director. The plaque shall be placed so that it is easily visible to passing pedestrians. In the case of a landmark structure, the plaque shall include the accepted name of the landmark, the date of its construction, and other information that the Landmarks Commission considers appropriate. In the case of a landmark that is not a structure, the plaque shall include the common name of the landmark and other information that the Commission considers appropriate. If the Commission determines that because the landmark is ecologically or culturally sensitive a plaque would be inappropriate, no plaque is required. No person may remove or modify a plaque without approval of the City Planner.
- (k) **Amending a Landmark Designation.** Any person may petition the Landmarks Commission to amend a Landmark Designation. The process for amending a landmark shall be the same as for designating a landmark under subsections e-h above.
- (l) **Determination of Effect on Proposed Use or Improvement.** If an application for a zoning, building or demolition permit under this Code involves a landmark or landmark site designated as such, the Landmarks Commission shall determine:
  - (1) Whether the proposed work would detrimentally change, destroy, or adversely affect any architectural feature of the landmark; and
  - (2) In the case of a new construction, whether the exterior or such construction would be in harmony with the external appearance of other landmarks on the site or nearby; and
  - (3) Whether the proposal would significantly alter or destroy the historic characteristics of the landmark or the landmark site.
- (m) **Action on Permit Application.** The permit application shall be first referred to the Landmarks Commission for consideration. The Landmarks Commission shall make a determination as to the matters referred to in subsection (l), and shall forward its determination to the appropriate body for action in accordance with section 13-1-182 (Zoning Permits in Single-Family and Two-Family Residence District), 13-1-183 (Zoning Permits in all other Districts), 15-1-23 (Building Permits), and 15-1-83 (Demolition Permits). Notwithstanding the previous sentence, upon the recommendation of the Landmarks Commission, and after consideration of the purpose and intent of this section, the Landmarks Commission shall refer the application with an advisory report to the Common Council for consideration of acquisition or preservation of the landmark or landmark site. The City Planner shall provide notice to the state historic preservation officer of any proposed action which would affect a designated landmark in accordance with section 66.1111, Stats.

**Sec. 13-1-64 Historic Conservation.**

- (a) **Purpose and Intent.** The protection, enhancement, perpetuation and use of improvements of special character or special historical interest or value are in the public interest. The purpose of historic conservation is to:
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  - (3) Stabilize and improve property values;
  - (4) Foster civic pride in the beauty and noble accomplishments of the past;
  - (5) Protect and enhance the city's attractions to residents, tourist and visitors, and serve as a support and stimulus to business and industry;
  - (6) Strengthen the economy of the city; and
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- (c) Designation. The Common Council, after considering the recommendation of the Landmarks Commission under sub. (g) below, may designate a landmark according to this section.
- (d) **Landmarks and Landmark Sites Designation Criteria.** The Landmarks Commission may designate as a landmark or landmark site any site, natural or improved, including any building, improvement or structure located thereon, or any area of particular historical, architectural or cultural significance to the city, such as historic structures or sites which:
- (1) Exemplify or reflect the broad cultural, political, economic or social history of the nation, state or community; or
  - (2) ~~Are identified with historic personages~~ Are associated with the lives of important persons or with important events in national, state or local history; or
  - (3) ~~Embody distinguishing characteristics or an architectural type specimen~~ Embody the distinguishing characteristics of an architectural type inherently valuable for a study of a period, style, method of construction or of indigenous materials or craftsmanship; or
  - (4) Are representative of the notable work of a master builder, designer, or architect; or ~~whose individual genius influenced his or her age; or~~
  - (5) ~~Represent a unique natural resource or cultural asset to the community that should be preserved.~~ Exhibit important archaeological or anthropological significance.
- ~~(e) **Reports and Recommendations.** The Landmarks Commission shall report to the Common Council any new landmarks and landmark sites it designates and shall recommend procedures for acquisition or preservation of such landmarks and sites.~~
- (e) **Nomination.** Any person may nominate a site, improvement, or site with improvements for designation as a landmark. The person shall submit the nomination to the City Planning Division, to the attention of the City Planner, on a nomination form approved by the Landmarks Commission. The nomination shall clearly identify the proposed landmark, landmark site, and document why it qualifies under sub. (d). The City Planner may ask the person to submit additional information and documentation as needed to complete or clarify the nomination. When the City Planner determines

that the nomination is complete, the City Planner shall refer the nomination to the Landmarks Commission.

- (f) **Landmarks Commission Review and Public Hearing.** Whenever the Landmarks Commission receives a complete, accurate nomination under sub. (e), the Commission shall review the nomination. As part of its review, the Commission shall ~~publish a Class 2 public hearing notice and hold a public hearing on the nomination, preceded by a Class 2 notice and . The Commission shall send notice of the recommendation~~ to each owner of record on each lot on which the proposed landmark is located, and to each owner of record of each lot located within two hundred (200) feet of the lot on which the proposed landmark is located. The Commission may also conduct its own investigation of the facts, as it deems necessary.
- (g) **Landmarks Action.** After the Landmarks Commission holds a public hearing and completes its review under sub. (f), the Commission shall report to the Common Council a recommendation supporting or opposing the proposed landmark designation. The Commission shall send notice of the recommendation to each owner of record on each lot on which the proposed landmark is located, and to each owner of record of each lot located within two hundred (200) feet of any lot on which the site or structure is located, at least 10 days before any meeting at which the Common Council may act on the Commission's recommendation. Any property nominated for landmark status located within a redevelopment area or tax increment financing district shall be referred to the Community Development Authority for review prior to Common Council Action.
- (h) **Common Council Action.** After considering the Landmark Commission's report recommendation under sub. (g), and based on the standards under sub. (d), the Common Council shall vote to designate or decline to designate the property as a landmark. The City Clerk shall promptly notify the Building Inspector of each landmark designation. The City Clerk shall record the designation with the Dane County Register of Deeds at the City's expense.
- (i) **Voluntary Supplemental Restrictions.** The Common Council may at any time supplement the terms of a landmark designation, pursuant to an agreement between the landmark owner and the Landmarks Commission, to enhance the preservation and protection of the landmark.
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- (f)(1) **Determination of Effect on Proposed Use or Improvement.** If an application for a zoning, building or demolition permit under this Code involves a landmark or landmark site designated as such, ~~the Landmarks Commission shall determine; by the Landmarks Commission, the Plan Commission shall determine:~~
- (1) Whether the proposed work would detrimentally change, destroy, or adversely affect any architectural feature of the landmark; and
  - (2) In the case of a new construction, whether the exterior or such construction would be in harmony with the external appearance of other landmarks on the site or nearby; and
  - (3) Whether the proposal would significantly alter or destroy the historic characteristics of the landmark or the landmark site.

~~(e)~~(m) **Action on Permit Application.** The permit application shall be first referred to the Landmarks Commission for consideration. The Landmarks Commission shall make a determination as to the matters referred to in subsection (l), and shall forward its determination to the issue an advisory report to the Plan Commission as to the matters referred to in subsection (e). ~~The Plan Commission shall make a determination as to those matters, after consideration of the Landmarks Commission report, and forward the application with its determination to the~~ appropriate body for action in accordance with section 13-1-182 (Zoning Permits in Single-Family and Two-Family Residence District), 13-1-183 (Zoning Permits in all other Districts), 15-1-23 (Building Permits), and 15-1-83 (Demolition Permits). Notwithstanding the previous sentence, upon the recommendation of the Landmarks Commission, and after consideration of the purpose and intent of this section, ~~if the Plan Commission deems it appropriate, it the Landmarks Commission~~ shall refer the application with an advisory report to the Common Council for consideration of acquisition or preservation of the landmark or landmark site. The City Planner shall provide notice to the state historic preservation officer of any proposed action which would affect a designated landmark in accordance with section 66.1111, Stats.



# CITY OF MONONA

## LANDMARKS NOMINATION FORM

Landmarks Commission 5211 Schluter Road Monon, WI 53716

Resource Type:       Landmark                               Historic District

*\*Please refer to the Preparation Guide for Landmark Nomination to assist in completion of this form.*

| Identification of Historic Resource |  |
|-------------------------------------|--|
| Common Name:                        |  |
| Historic Name:                      |  |
| Current Use:                        |  |
| Street Address:                     |  |
| Parcel Number(s):                   |  |
| Legal Description:                  |  |

| Applicant Information     |  |
|---------------------------|--|
| Name and Title:           |  |
| Organization Represented: |  |
| Address:                  |  |
| Phone Number:             |  |
| Email Address:            |  |

*As the preparer of this document, I am signing below to signify that I believe this document is complete and contains true and accurate information.*

---

Signature

Print Name

Date











## CITY OF MONONA

### PREPARATION GUIDE FOR LANDMARK NOMINATION

*Use this document for guidance in completing the Landmarks nomination form. The City Planner will review the form for completeness and may ask the preparer to submit additional information as needed. Please contact the City Planner with questions at 608-222-2525 or [sreichertz@ci.monona.wi.us](mailto:sreichertz@ci.monona.wi.us).*

- (1) **Identification of Historic Resource** (check either the landmark box or the historic district box).
  - Common Name: Provide the landmark with a name. If a landmark amendment is being proposed, please use the current landmark name.
  - Historic Name: Provide the historic name of the landmark or mark as “unknown.” (N/A for historic districts).
  - Current Use: Briefly describe the current use of the landmark (Structure, landscape, landscape feature, or object). For districts, describe the use as commercial, industrial, residential, etc.
  - Street Address: Provide the street address of the landmark. (N/A for historic districts).
  - Parcel Number(s): Provide all parcel numbers related to the landmark site. For districts, provide all parcel numbers and a map.
  - Legal Description: Provide a legal description of the landmark site boundary. Use continuation sheet(s) as necessary. Maps can also be included as supplemental information. For districts, provide the legal description of the historic district boundary.
- (2) **Form Prepared By**
  - Name and Title: Provide name of person responsible for form preparation.
  - Organization Represented: Provide name of organization or mark as “not applicable.”
  - Address, Telephone Number, Email Address: Provide contact information of person responsible for form preparation.
  - Statement of Completeness and Accuracy: Sign and date the form to signify that you believe the document contains true and accurate information.
- (3) **General Historical Data**
  - Original owner, original use, architect/builder/designer, architectural style, date of construction/period of significance, whether it is a moved or original site, physical condition: provide general information about these categories as they relate to the significance of the landmark. Use section 5 for the detailed description of significance. N/A for historic districts.
- (4) **Describe Present and Original Character and Features**
  - Provide detailed description of the character and features of the landmark or district. Include details about the physical setting / location. Photographs should be provided as supplemental materials to document the existing condition of the landmark.
- (5) **Describe Significance of Property and Conformance to the Designation Criteria**
  - Provide a detailed description of the architectural, cultural, or historic character of the landmark / landmark site and how the significance relates to at least one of the designation criteria listed in the Historic Conservation Ordinance.
- (6) **List of Bibliographical Resources**
  - Cite sources referenced during the research of the landmark / landmark site and the preparation of this document. Use continuation sheet(s) as necessary.
- (7) **Additional Information**
  - Provide any other information related to conveying the significance and description of the landmark.