

Plan Commission Meeting Date: May 27, 2014

PLAN COMMISSION (Agenda Item 5.A. and 5.B.)

AGENDA ITEM:

Recommendation on Request by the Habitat ReStore, for Approval of a Zoning Permit to Operate at 4209 Monona Drive.

REQUESTED BY:

Jen Voichick, Habitat ReStore Director of Dane County Director

Jenny Lisak, Key Commercial Real Estate

Bob Rubin, Property Owner

James Widder, Architect

Case No.

2-006-2014

PERMIT/POLICY ANALYSIS STATEMENT:

Brief Description of Proposal:

Habitat for Humanity has submitted an application for a zoning permit in order to use the Rubin's furniture operation as a building materials retail operation, the Habitat ReStore. The ReStore is primarily a retail facility offering a sustainable source of building materials (mainly donated used items).

Additional detail on the business is included in the plans dated 5/20/14 from applicants Jennifer Voichick, Habitat ReStore Director, and Valerie Johnson, Dane County Habitat for Humanity CEO. Plans were prepared by architects Jim Widder and Ed Linville. Key Commercial Real Estate is representing both the property owner, Bob Rubin, and the prospective tenants, Habitat ReStore.

Current Policy or Practice

Plan Commission approval of zoning permits in the retail business zoning district is required. A zoning permit is required for any construction, substantial relocation or substantial enlargement of any structure or building. A zoning permit is also required for any use or substantial change in use of any land, water, structure or building as determined by the Zoning Administrator. The proposed use is reviewed according to the following codes and plans: Retail Business Zoning District Sec. 13-1-84, General Use and Operational Performance Standards Sec. 13-1-41 and Sec. 13-1-42, Quantitative Standards in Appendix A of the Code, the Signage Code, and other applicable sections of the Monona Municipal Code of Ordinances. Applicable City Plans include the Comprehensive Plan,

Redevelopment Area No. 7 Project Plan, the Monona Drive Urban Design Guidelines, and the Sustainability Plan.

Recommendation

Approval a zoning permit, site plans, and building elevations for the Habitat ReStore in order to operate at 4209 Monona Drive is recommended, as proposed at the Plan Commission meeting 5/27/14, according to Section 13-1-180 of the Monona Municipal Code of Ordinances with the following conditions of approval:

- 1. The chain link fence shall be repaired and trees growing through the fence shall be removed.**
- 2. Abandoned metal and other material in the old loading dock area to the west of the building shall be removed and security lighting shall be installed as proposed.**
- 3. The paved area to the east of the building shall be re-graded and replaced with grass and pervious walkway as proposed.**
- 4. The two stormwater bio swales shall be maintained according to the plantings shown on the site plan dated 5/20/14.**
- 5. All proposed improvements shall be completed at the same time rather than done in phases.**
- 6. Building materials, donated goods, or other items for sale shall not be stored outdoors unless adequately screened according to Sec. 13-1-42(f) of the Zoning Code.**

5.A. and 5.B. Recommendation on Request by the Habitat ReStore, for Approval of a Zoning Permit to Operate at 4209 Monona Drive. Plan Commission Meeting May 27, 2014

Background on Building and Site

Bob Rubin owns the commercial properties between Winnequah Road and Parkway Drive at 4207 and 4209 Monona Drive. 4209 Monona Drive is the former Kohl's grocery store building. It was purchased by Bob Rubin for use as the Rubin's Furniture clearance center and showroom, which received a zoning permit from the Plan Commission in 1992. The 4/13/92 zoning permit was approved with six conditions including condition no. 3 regarding the addition of landscaping. This condition was revised by the Plan Commission in 1996 and allowed landscaping to be completed in phases. The Medicine Shoppe and Easter Seals building, property also owned by Bob Rubin, was built in 2009. This permit was approved the condition that the previously required improvements to the Rubin's site be completed. The conditions approved over time were postponed for various reasons including the reconstruction of Monona Drive Phase II in front of this location. The reconstruction will be completed in May 2014. The original and subsequent permits approved for the Rubin's site in 1992 for owner Bob Rubin are still in effect. The landscaping requirements approved by the Plan Commission have been outstanding conditions of the permits for the last twenty-two years.

Proposal

Habitat for Humanity has submitted an application for a zoning permit in order to use the Rubin's furniture operation as a building materials retail operation, the Habitat ReStore. The ReStore is primarily a retail facility offering a sustainable source of building materials (mainly donated used items). The ReStore also provides a resource for the community in recycling and reuse education and promotion. Additional detail on the business is included in the plans dated 5/20/14. Bob Rubin also submitted the attached letter dated 4/28/14 stating that he will assume responsibility for the planting of new landscaping requirements as a component of the Habitat ReStore zoning permit request.

Public Hearing and Prehearing Conference Held 4/28/14

A public hearing and prehearing conference were held at the 4/28/14 Plan Commission meeting. A summary of the public hearing can be reviewed in the draft Plan Commission. Please see the attached 4/30/14 that summarizes the Plan Commission discussion and requests for additional information from the prehearing conference.

Consistency with Zoning District and Surrounding Uses

Plan Commission approval of zoning permits in the retail business zoning district is required. A zoning permit is required for any construction, substantial relocation or substantial enlargement of any structure or building. A zoning permit is also required for any use or substantial change in use of any land, water, structure or building as determined by the Zoning Administrator.

Zoning Code

The property at 4209 Monona Drive is zoned Retail Business (RB). The RB zoning district is characterized by retail trade, service, office, financial, professional, ancillary residential and entertainment activities serving the community. Proposed uses in the RB zoning district shall also comply with the general use performance standards (13-1-41) and the district performance standards (13-1-84(b)) in the Code. These code sections are attached for Plan Commission review.

The applicants have described the Habitat ReStore as a destination retail business use and have stated that it is not a warehouse or light industrial use. Based on the materials submitted and the prehearing conference, staff and the Plan Commission have determined that the proposed use is consistent with the Retail Business Zoning District. However, the Plan Commission must also determine that the proposal complies with the general use and district performance standards and other applicable sections of the Code and applicable plans discussed below.

Surrounding Uses

To the west and south of 4209 Monona Drive are single family residences in the single family zoning district. The Medicine Shoppe retail building is adjacent to Rubin's to the north. Across Monona Drive to the east are single family residences that are in the City of Madison. Compatibility with surrounding uses should be reviewed by the Plan Commission according to the Code's performance standards. In the past, residents have spoken in opposition to proposed expansion plans for the Rubin's furniture site, and have cited issues with property maintenance, lighting, and deliveries.

Consistency with the Comprehensive Plan and Other Applicable Plans

Comprehensive Plan

The Comprehensive Plan Land Use section notes that the former Kohl's site is appropriate for redevelopment into higher density uses such as mixed-use, retail, or condominiums. Overall, the Comprehensive Plan encourages the operation of destination type businesses on Monona Drive, and discourages use of the corridor as a thoroughfare for drive-thru and service-oriented businesses.

Redevelopment Area No. 7

Proposals in a redevelopment area that include substantial remodeling, enlargement or major structural improvements on an existing building will generally require CDA and Council authorization. Changes made will include removal of carpet and buffing of the concrete floor, build-out of a staff office and volunteer break room space, the addition of the 10'x10' garage door and canopy extension, as well as landscaping additions, a dumpster enclosure extension, and parking lot striping.

For the purposes of the redevelopment area, the proposed changes are not major remodeling or structural alterations that would impact or impede the future re-use of the building or redevelopment of the site, or adjacent sites, nor would they greatly increase the building's useable life (if the long-term goal is redevelopment). Therefore, the proposed use and

improvements for the site for use by the Habitat ReStore will not require CDA or Council authorization to proceed.

Sustainability Considerations

The letter submitted describes various sustainability components of the ReStore business. ReStore offers a sustainable source of building materials to the general public and have also become a resource for the community in recycling and reuse education and promotion. The letter also discusses the economic sustainability of the business and how it would support Monona's local economy. The letter states that the availability of the materials sold at the ReStore to Monona residents who live in homes built in the 50s, 60s, and 70s, is ideal based on the price of the inventory and the era represented in their inventory. Remodeling of older homes in Monona is a trend that is expected to continue and this retail business would support the continued improvements of older homes at an affordable cost for Monona residents and with re-used building materials. A resolution approved by the City Council and various statements in the City's Sustainability Plan, Comprehensive Plan, and Strategic Plan, note that sustainability should be considered in review of land use decisions.

Monona Drive Urban Design Guidelines

The Monona Drive Urban Design Guidelines encourage building and site design to compliment the character of the Monona Drive streetscape. For a complete copy of these guidelines, please refer to the following web address: <http://wi-monona.civicplus.com/DocumentCenter/View/172>.

Goals and objectives listed in the guidelines include:

- As renovation of existing buildings, redevelopment, and infill development occur, the City is interested in ensuring a stable, successful corridor that contributes to the community's quality of life and identity;
- Establish a distinctive sense of place within the Monona Drive corridor;
- Optimize the balance between needed parking and aesthetics;
- Promote walkability of the Monona Drive corridor;
- Better define Monona Drive as Monona's Main Street;
- General development and site design patterns should consider: open space and view corridors, streetscape elements, strong visual and pedestrian relationships between buildings and the street, aesthetically pleasing pedestrian areas, or continuation of the use of streetscape elements in front of buildings;
- Service and storage areas and refuse enclosures should be oriented away from public view and screened from public areas;
- Loading areas should be separated form main circulation and parking areas;
- Materials used for screening should match or compliment the exterior materials of the main buildings on the site;
- Plantings may be used to screen incompatible uses, soften hard edges, define areas of use, add multitude of colors, textures, etc;
- Renovations and new construction should take into consideration the opportunity to create an identifiable quality image for the Monona corridor;
- Human-scale detail, windows, and other openings along ground floor pedestrian areas;

- Maintain consistent architectural materials and character on visible sides of the building;
- Designed screening device and enclosed service, loading, and refuse areas to be in integral part of the building architecture.

Building and Site Improvements

The Habitat ReStore is proposing minor changes to the interior of the building including the removal of carpet and the addition of a staff office and volunteer break room space. The Habitat ReStore has proposed the following exterior building and site improvements:

- Striping of 51 parking stalls shown on the site plan.
- A 45'x22' enlargement of the existing dumpster enclosure in the rear of the property. Materials for the proposed enlargement will be the same fencing material as the existing fence enclosure (chain link with slats).
This enclosure has been expanded and relocated since the prehearing conference review.
- Repair of chain link fence and removal of trees growing through the fence.
- Clean up of old loading dock area and alley behind the building, including installation of cut-off light fixture for security.
- Landscaping additions to the grass area between the sidewalk along Monona Drive the front (north) façade of the Rubin's building.
The paved area is now proposed to be replaced with grass and a walkway. A second stormwater swale is proposed in the parking lot. Previously proposed shrubbery in front of the building is no longer proposed.
- The addition of a pedestrian egress door on the south wall of the building.
- A new 10'x10' glazed garage door (photos submitted). Operational needs of the ReStore require the installation of a large door that will accommodate a forklift that the store uses to move materials, as well as for customers to carry large items out to their vehicles. The garage door pick-up area will not create a drive-thru traffic circulation area (such as the donation drop-off area at Goodwill on Industrial Drive).
- The extension of the existing eave (sheet metal) over the garage door area.
The canopy extension is proposed over the garage door area to provide shelter during rain, etc. The applicants are no longer proposing to "phase" this project. It will be completed with the other improvements.

Landscaping

Previously approved zoning permits (which are still in effect) for the use of the site by Rubin's required: *"When Monona Drive is reconstructed along the frontage of the Rubin's Furniture site*

or by 2013 whichever occurs first, a landscaping plan shall be prepared and submitted for the Rubin's Furniture site showing removal of angled parking and the addition of green space and landscaping in a wider terrace area, for approval, with revisions and planting completed within 6 months of the completion of street work." Bob Rubin indicated that he will take responsibility for the City's landscaping requirements as part of the Habitat ReStore zoning permit request.

Habitat ReStore has proposed the following landscaping improvements to the site:

- Two storm water retention bio swales around existing catch basins. Plantings specified on sheet A-101.
- Removal of paved area in front of building. Re-grade and reseed with Kentucky bluegrass/ryegrass mix.

Parking

The plan shows 51 stalls. All of these stalls will be striped. The letter describes parking needs in detail including 2 handicap parking stalls at the northeast corner of the building, 21 regular customer parking stalls, 8 stalls in back for employees, and 10 volunteer parking stalls. The applicants expect 18 parking stalls would be in use at any one time. There is more than enough parking available on site for the proposed use.

Hours of Operation & Deliveries

Regular retail hours are proposed from 9am-5pm Tuesday through Saturday. A volunteer crew will pick-up donations and deliver them to the store on Mondays between 8am-4pm. The ReStore uses a 26 foot box truck for donation pickups which operates regularly Monday through Friday between 8am-4pm. Storage of this truck is described in the plans submitted. Other donations arrive via box truck 1-2 times per month.

Outdoor Storage

Sec. 13-1-42(f) *Outside Storage* states that "all materials, equipment, receptacles and containers for refuse and recyclables shall be stored within a building or be fully screened so as not to be visible from adjoining properties, except for clotheslines, and construction and landscaping materials and equipment currently being used, or intended for use within a period of twelve (12) months, on the premises. No exterior storage shall be permitted which has a depreciating effect on nearby property values, impairs scenic views, and constitutes a threat to living amenities or which is a hazard to public health, safety or morals."

The Habitat ReStore may not store any donated goods or building materials outside. All materials need to be stored within the building. Accumulation of donated goods and materials will not be allowed. The ReStore will need to ensure that customer drop-offs occur only during business hours when ReStore staff is available to accept the donated goods inside the building. The plans submitted address these concerns.

Department Review

Plans and information submitted were provided to City Department Heads and comments returned are as follows:

- Public Works Director: Based on the information provided, there are no impacts to public works or utilities. Any permanent work within the street right of way on Monona Drive or Parkway will require a right of way permit. Please contact Mark Modaff at mmodaff@ci.monona.wi.us to learn more about the permit.
- City Clerk: My only concerns would be truck noise for the neighbors and making sure there's no outdoor storage. The site next to the Pinney Library made efforts to clean up their outdoor areas and not allow people to just dump things off. It's also not a draw for foot traffic, which was one of the goals for the Monona Drive project. Otherwise, this is a perfect fit for Monona's sustainability effort reputation and a good use of a large, unusual building. It's kind of nice that it's so close to another re-use donation center – Easter Seals.

Signage

Conceptual signage is shown on the plans submitted. This signage will not be approved at the Plan Commission meeting 5/27/14. A complete signage package will be submitted for review and approval at a later Plan Commission meeting.

Non-conforming signage used by Rubin's furniture has been an on-going concern for this property. The applicants need to be aware that temporary off-building signage such as balloons, sandwich boards, flags, waving banners, and other attention getting devices will not be allowed. Temporary wall signage (banners) may be used for 28 days in a six month period with zoning administrator approval.



City of Monona

Planning and Community Development

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April 30, 2014

Jen Voichick, Habitat for Humanity ReStore Director
208 Cottage Grove Road
Madison, WI 53716

VIA EMAIL

Re: Habitat ReStore Zoning Permit

Dear Jen and Habitat ReStore Team:

The Plan Commission held a public hearing and prehearing conference on 4/28/14 for the request by the Habitat ReStore for a zoning permit to operate in the Rubin's furniture building at 4209 Monona Drive. The following is a summary of the Plan Commission discussion and requests for revisions and additional information.

1. Use

The consensus of the Plan Commission was that based on the information presented, the proposed use as a salvaged/used building materials retail store was consistent with the retail business zoning district.

2. General Use Performance Standards and Operational Standards of the Zoning Code

Other components of the business were discussed and whether they could comply with the performance standards of the zoning code and with surrounding uses.

- Outdoor storage: In general, the Plan Commission made it clear that outdoor storage of building materials is not allowed.
- Truck storage: The Commission also requested the applicants to come up with some way to adequately screen the 26' box truck that will be parked behind the building. The Commission noted that the large semi-truck (currently parked at the Cottage Grove Road location) cannot be stored at the Monona Drive site.
- Free items: The Commission stated the "free items bin" currently stored outside at the Cottage Grove Road location will not be allowed at the Monona Drive site, however, Chair Busse noted that if there is a drop box specifically designed to be aesthetically adequate for storage outside, then the Commission may consider allowing it.
- Existing outdoor storage: It is understood that the property owner will have the Easter Seals bins removed from the property that are currently stored outside on the parking lot.

3. Site Plan

- Parking availability and striping: All of the parking stalls are not needed for use by the ReStore and the Plan Commission wants to see some of the existing impervious space repurposed. The Commission requested moving the rain gardens shown on the Monona Drive side somewhere into the parking lot where they will capture water runoff.
- Make sure the parking stalls shown on the site plan are the stalls that you plan to have striped.

4. Landscaping

- Similar to the point above, the Commission would like to see the addition of green space or parking lot islands to the site where additional plantings could be put in. The Commission specifically noted that the area around the northeast corner of the building would be appropriate for these new planting islands to enhance the site's curb appeal.
- The rain gardens that are removed from the east side of the site should be replaced with a couple other plantings.
- The Commission requested that the asphalt strip in front of the building be addressed. It could be removed and replaced with green space. They also stated that a deck could be put in and this could improve the curb appeal of the building. The applicants should determine what will be proposed, but it should address this area in some way.
- I provided the applicants with materials on the City's Façade Improvement Grant program during our pre-application meetings. Please consider utilizing this grant program, a \$10,000 matching grant, if you intend to make improvements that will substantially upgrade the "curb appeal" of the building and site along Monona Drive. Let me know if you have any questions on the grant or the application process.

5. Property Maintenance Issues

- The Commission requested that the existing chain link fence be repaired and the trees that are growing out of the fence be removed. Please indicate your plans for taking care of this item in your revised submittal.
- The Commission requested that the narrow alley in the rear of the building be cleaned up. Old loading docks should be removed, brush removed, etc. The applicants stated a small light would be installed to take care of security concerns and that it would have a shield on the light to prevent it from shining onto the neighboring residence. Provide the specifications for this proposed lighting fixture.

6. Architecture/Design

- The Commission requested an example of what the extension of the dumpster enclosure will look like. Please submit a photo of the chain link with slats that you intend to use.
- Floor plan: remove the opening shown on the north building wall that was originally planned to be a second garage door.

- Extended eave: The Commission discussed the proposed phasing of this particular improvement. Are there any other components of the proposal that would be done in a “phase II” instead of “phase I?” Please indicate as needed. The Commission noted that previously approved phasing of improvements for this site were not completed. While it is preferable that all improvements be made at once, the Commission understands the financial constraints that were described by the applicants. If phasing is allowed during Plan Commission review, completion of the phasing will be required in the future.
- The large windows on the front of the building allow for high visibility into the store. The Commission discussed the importance of putting together an aesthetically pleasing display on the interior as a part of the building’s curb appeal from Monona Drive. The applicants stated that an employee or volunteer will specifically manage this task to make sure it looks nice from the outside.

7. Signage

- Conceptual signage was discussed at the prehearing conference. If way finding signage is used, please have this submitted as part of a comprehensive signage package for the site. It should be a cohesive design.
- Use of both a fabric banner and wall sign on the north side of the building is in excess of what the sign code allows. Usually two wall signs are only allowed when the building fronts on more than one street. If you want to request a special exception to this requirement, please state reasons for the request and why the applicants believe it is necessary.
- I can assist you with completing the sign permit applications.

Please revise the plans to reflect the comments listed above and submit 12 hard copies to City Hall by May 12, 2014. Plans may be emailed to me prior to this deadline for preliminary review. The item will be scheduled for a public hearing and consideration of action on May 26, 2014. Feel free to contact me by phone at (608)222-2525 or email at sreichertz@ci.monona.wi.us.

Thank you for your work in putting together a complete and detailed plan set!



Sonja Reichertz
 City Planner
 City of Monona

C: Valerie Johnson, Habitat ReStore
 James Widder, Architect
 Eric Nelson, Habitat ReStore
 Jenny Lisak, Key Commercial Real Estate
 Deb Erslund, Key Commercial Real Estate

Article C: Use Performance Standards

Sec. 13-1-40 Use Performance Standards – Generally.

The following use performance standards in this Article shall apply to any construction, or substantial reconstruction, conversion, structural alteration, relocation or enlargement of any structure or building, and to any use or substantial change in the use of any land, water, structure or building.

Sec. 13-1-41 General Use Performance Standards.

- (a) The proposed use shall not adversely affect the character or quality of the district or neighborhood and shall not be detrimental to the health, safety, comfort or general welfare of the residents and workers in the general neighborhood.
- (b) The proposed use shall not impede the normal and orderly development and improvement of the area with uses permitted in the district. The proposed use shall not cause substantial detriment to the public good or substantially impair the intent and purpose of this Code or the Master Plan.
- (c) The proposed use shall promote economical and efficient land use, an improved level of amenities, creative design and a better environment.
- (d) The proposed use shall not substantially impair or diminish the development, use, value, character or enjoyment of other property in the neighborhood for uses already permitted.
- (e) The proposed use shall not be adversely affected by existing uses in the area.
- (f) The proposed use is reasonable in terms of logical, efficient and economical provision of public services and facilities provided by the City, school district and other units of government.
- (g) The proposed use is appropriate to the immediate neighborhood.
- (h) The proposed use is of an appropriate size, located and laid out with respect to access streets so that vehicular, bicycle and pedestrian traffic to and from the use shall not create undue congestion or hazards which would be detrimental to the character of the general neighborhood.
- (i) The proposed use shall be subject to conditions imposed by the Plan Commission with respect to the minimizing of traffic congestion by providing appropriate entrances and exits so as to assure the public safety, and by providing landscaping located to screen the premises from any residential use or district.
- (j) The proposed use shall not create or add to hazards to persons or property, on-site or off-site, including danger of flooding, erosion, subsidence, or slipping of the soil, or other dangers, annoyances or inconveniences. The use or development shall not create environmental damage, which will affect any other property. Conditions of soil, ground water level, drainage and topography shall be appropriate to both the kind and pattern of use intended.
- (k) The proposed use shall be subject to such conditions and safeguards as may be imposed by the Plan Commission to preserve and protect the intent and purpose of this Code and the Master Plan.
- (l) The proposed use shall produce an attractive environment of sustained aesthetic and ecological desirability, economic stability and functional practicality compatible with the general policy guidelines of the comprehensive Master Plan.
- (m) Where feasible and appropriate, the proposed use shall contribute towards serving regional and community needs for employment, services, open space, moderate-cost housing, lake access and/or recreational facilities.

Sec. 13-1-42 Operational Use Performance Standards

(This section was revised per Ordinance 1-13-641, adopted April 1, 2013.)

The intent of this Section is to set operational standards for uses in the zoning districts. No use shall be permitted except in compliance with the standards established or amended by the Department of Natural

Resources for air pollution, liquid or solid wastes, malodorous emissions and with the following City standards:

- (a) **Noise.** No use shall regularly emit noise beyond the premises of the source in excess of sixty-five (65) decibels between 7:00 a.m. and 9:00 p.m. and fifty-five (55) decibels between 9:00 p.m. and 7:00 a.m. in any octave band of frequency above three hundred (300) cycles per second as measured by a standard sound level meter. Noise shall be so muffled or otherwise controlled as not to become objectionable, due to intermittence, duration, beat, frequency, impulse character, periodic character or shrillness. Sirens, whistles, bells, etc., which are maintained and utilized solely to serve the public purpose are excluded from this regulation.
- (b) **Vibration.** No use shall cause vibration, which is discernible to human feeling beyond the premises of the source.
- (c) **Glare and Heat.** No use shall emit glare or heat which is visible or measurable beyond the premises of the source.
- (d) **Electrical Disturbance.** No use shall emit any electrical disturbance, which adversely affects the use of any other premises.
- (e) **Fire and Explosion Hazards.** All uses involving the manufacturing, utilization, processing or storage of flammable or explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion, as determined by the Fire Chief.
- (f) **Outside Storage.** All materials, equipment, and receptacles and containers for refuse and recyclables shall be stored within a building or be fully screened so as not to be visible from adjoining properties, except for clotheslines, and construction and landscaping materials and equipment currently being used, or intended for use within a period of twelve (12) months, on the premises. No exterior storage shall be permitted which has a depreciating effect on nearby property values, impairs scenic views, constitutes a threat to living amenities or which is a hazard to public health, safety or morals.
- (g) **Screening of HVAC and Mechanicals.** All building and site heating, ventilating and air conditioning (HVAC) and other mechanical equipment shall be screened from view with materials and landscaping complimentary and harmonious to the building and site.

Sec. 13-1-43 Home Occupations

- (a) Any occupation may be conducted and permitted in a residence if it complies with this Section and all other applicable codes.
- (b) A home occupation shall not be conducted or permitted in a manner which detracts from the residential character of the neighborhood or which tends to create a business atmosphere in the neighborhood. A home occupation shall not be conducted or permitted in a manner, which causes the premises to differ substantially from nearby residential uses by the use of colors, materials, construction, lighting or signs; by the emission of sound, noise or vibration; or in any other way, which would be noticeable to a causal observer. A home occupation shall not be conducted or permitted unless it is clearly incidental and secondary to the principal use of the dwelling purposes. The exterior appearance of a residential structure shall not be altered to conduct a home occupation. A home occupation shall not generate traffic, parking, commercial traffic, parking of commercial vehicles, sound, noise, vibration, glare, fumes, odors, electrical interference or nuisances beyond what is customarily and ordinarily found in a residential area, or which detracts from the residential character of the neighborhood. An accessory building may be used for a home occupation, but no area outside a building shall be used for storage or other purpose in the conduct of a home occupation.

Sec. 13-1-44 Garage Sales

- (a) Garage sales, yard sales and similar merchandise sales may be held no more than two (2) times per year at any residence, and for a total of not more than six (6) days in that year. The Zoning Administrator may authorize additional sales and/or sale days if warranted by unusual circumstances. All goods offered for sale shall be household goods or personal possessions from the residence where

- c. To the extent feasible, a reasonable proportion of new multi-family residential construction shall be made available at moderate cost to low-income, elderly and large households.
 - d. No multi-family residential units shall be occupied to exceed a density greater than two (2) adults per bedroom.
- (2) **Permitted Uses.**
- a. Home Occupations (See Section 13-1-43).
 - b. Multi-family residential units may be occupied by one (1) or more families not exceeding a density greater than two (2) adults per bedroom.
- (3) **Signs.** Signs of the following type:
- a. Real estate signs with an area not more than six (6) square feet preface, with a maximum of two (2) faces, which advertise the sale or rental of only the premises on which they are placed, and are located at least five (5) feet from the street line:
 - 1. No real estate sign or part thereof shall be taller than five (5) feet above the ground.
 - 2. No real estate sign with a sold label shall remain upon the premises longer than one (1) week.
 - b. Directional and identification signs for public or non-profit institutions, not to exceed eight (8) square feet. All directional and identification signs for public or non-profit institutions existing upon the effective date of this Chapter shall be deemed in conformance with this Section.
 - c. Signs or nameplates for home occupations are prohibited.
 - d. Garage sale signs as regulated under Section 13-1-44.

Sec. 13-1-83 Neighborhood Small Business District.

- (a) **Characteristics of District.** The goal of this District is to provide convenient and accessible sites for small business establishments without harming the historic, architectural and aesthetic quality of the area.
- (b) **District Performance Standards.** This District is intended to serve the daily or frequent shopping needs of residents in adjacent areas by permitting limited commercial establishments within walking distance of a large number of residences. It is intended that one (1) family residences, two (2) family residences and small-scale neighborhood retail and service businesses are to be permitted in this District. This District is restricted to uses with a limited number of employees, limited traffic generation and minimal parking needs, in order to avoid disrupting the surrounding low-density residential neighborhood. It is intended that existing businesses located in historic buildings may be continued provided that the exterior walls of the building are preserved substantially undisturbed and in substantially the same appearance as they were on the effective date of this Code. Use and development in this District shall blend with the historic, architectural and aesthetic character of the area. Uses in this District shall not emit smoke, fumes, gases, dust, odors, vibration, noise or glare in amounts, which are discernible beyond the boundaries of the site. Dimensions of any development shall be compatible with nearby residential development.

Sec. 13-1-84 Retail Business District.

- (a) **Characteristics of District.** The Retail Business District is characterized by retail trade, service, office, financial, professional, ancillary residential and entertainment activities serving the community.
- (b) **District Performance Standards.** In addition to the general performance standards, proposed uses in this District shall meet the following additional standards:
 - (1) The proposed use shall be related to the general development pattern and the objectives of the Master Plan to provide a balanced local economy, to provide needed goods and services not otherwise available in the immediate area and to protect and enhance the character of the surrounding neighborhood.

- (2) Because of the limited supply of vacant land, the proposed use shall not unnecessarily duplicate retail or service uses already existing in the immediate vicinity.
- (3) Whenever feasible, building shall be physically oriented away from residential development and the layout of parking and service areas, access, landscaping, yards, walls, signs, lighting and control of loud and/or discordant noise, glare and other potentially adverse effects shall be such as to protect nearby residential development. Yards, fences, walls, landscaping or other screening or buffering shall be provided where needed to protect nearby residents from undesirable views, lighting, noise or other adverse influences. In particular, extensive off-street parking areas, service areas, loading areas and areas for storage and collection of garbage shall be adequately screened.
- (4) Whenever possible, development shall occur according to a large-scale plan rather than on a piecemeal basis. For example, whenever practical, development shall be planned in a coordinated fashion for an entire block rather than occurring on a lot-by-lot basis. This could be accomplished by single ownership or control of an entire block, by agreement among the owners of lots in a block, or by the adoption of a policy resolution for the area by the Plan Commission. However it is organized or enforced, the large-scale plan shall provide the benefits of coordinated site planning in the following manner:
 - a. To provide for features such as shared parking lots, to minimize the number of driveway entrances and exits through use of the Monona Drive Access Management Guidelines, to provide for safe and efficient traffic flow, to minimize the paved area and to facilitate on-site absorption and retention of storm water.
 - b. To provide more landscaping.
 - c. To encourage more attractive building design and layout.
 - d. To permit the construction of appropriately sized indoor and outdoor pedestrian plaza areas and attractively landscaped open spaces.
 - e. To prevent the proliferation of unattractive alleys and yards which are too small or inappropriately located to be aesthetically pleasing.

Sec. 13-1-85 Commercial Industrial District.

- (a) **Characteristics of District.** The Commercial/Industrial District is characterized by retail, service, commercial, office, recreational, warehouse and light industrial uses which are highway-oriented. Typical light industrial uses include manufacturing, fabrication, packing, packaging, assembly, repair, terminals, depots and storage. It is contemplated that multi-family residential development shall be permitted in this District only as part of a rezoning to Planned Community Development District.
- (b) **Adult Entertainment District.** Adult oriented establishments are allowed in this Section subject to the following conditions:
 - (1) Such establishments shall be licensed as provided in Section 7-14-1 through 7-14-13 of this Code of Ordinances.
 - (2) All exterior windows in any premises occupied by such establishment shall be blackened to the extent necessary to make them opaque.
 - (3) No such establishment shall be located within five hundred (500) lineal feet of a church or any other place of worship, or a private or public elementary, secondary or vocational school, or a public park, or within five hundred (500) lineal feet of any residence district.
 - (4) Such establishment may have one (1) non-flashing business sign, which sign may only indicate the name of the business and identify it as an adult entertainment establishment.
- (c) **District Performance Standards.** In addition to the general performance standards, proposed uses in this District shall meet the following additional standards:
 - (1) The proposed use shall be related to the general development pattern and the objectives of the Master Plan to provide a balanced local economy and to provide stable employment suitable for residents of Monona and the surrounding area.
 - (2) The proposed use shall be compatible with nearby development as built or contemplated for construction in the near future.
 - (3) Because of the limited supply of vacant land, any proposed retail or service uses shall not unnecessarily duplicate retail or service use already existing in the immediate vicinity.



May 2014

Sonja Reichertz
City Planner & Assistant Economic Development Director
City of Monona
5211 Schluter Road
Monona, WI 53716

Dear Sonja,

Please consider this letter a revised application for permission to rent the Rubin's building on Monona Drive for our flagship Habitat ReStore. Below are details of plan changes:

1. All components will be completed in phase one.
2. ReStore staff will maintain an indoor materials display near the large east windows that will address any aesthetic concerns/visibility from Monona Drive. We have a board member recruiting a designer to oversee this area's design.
3. To address concerns of the large amount of non-permeable surface on this property, we will remove the concrete in front of the store and replace it with grass and some plantings. This will allow us to place the rain gardens more appropriately. We will place small paving stones in a path pattern through this area so when a plant sale is held customers can walk through the area if the grass is wet.
4. We are proposing a "free-cycle" bin that is only open store hours and that is located behind the store next to the metal recycling and trash area. It would be inside the enclosure so only visible to those looking for it during store hours and hidden other times.
5. We will remove/trim any trees growing through the fence on the property and repair broken fencing.
6. We will remove the second, southern, loading dock and place lighting on the back of the building. This will be motion activated with a cutoff lens to ensure security while minimizing neighborhood light pollution.
7. Our "green team" will oversee the community garden at the rear of the lot. They hold our plant sale and landscape about 15 homes each year, so they are experienced gardeners. The purpose of the gardens is to provide plants for the plant sales and our Habitat homes, while improving visual interest at the store. Team Chair Ann Eaves Wolfe schedules volunteers for regular workdays.
8. For most of store hours, the box truck will be out in the community collecting donations. For up to half of store hours, it may be at the back loading dock for unloading. During off store hours (evenings and Sun/Mon) we will park it just south of the dock to tuck it out of sight of most passing by.

Thank you for your consideration,

A handwritten signature in black ink that reads "Valerie Johnson".

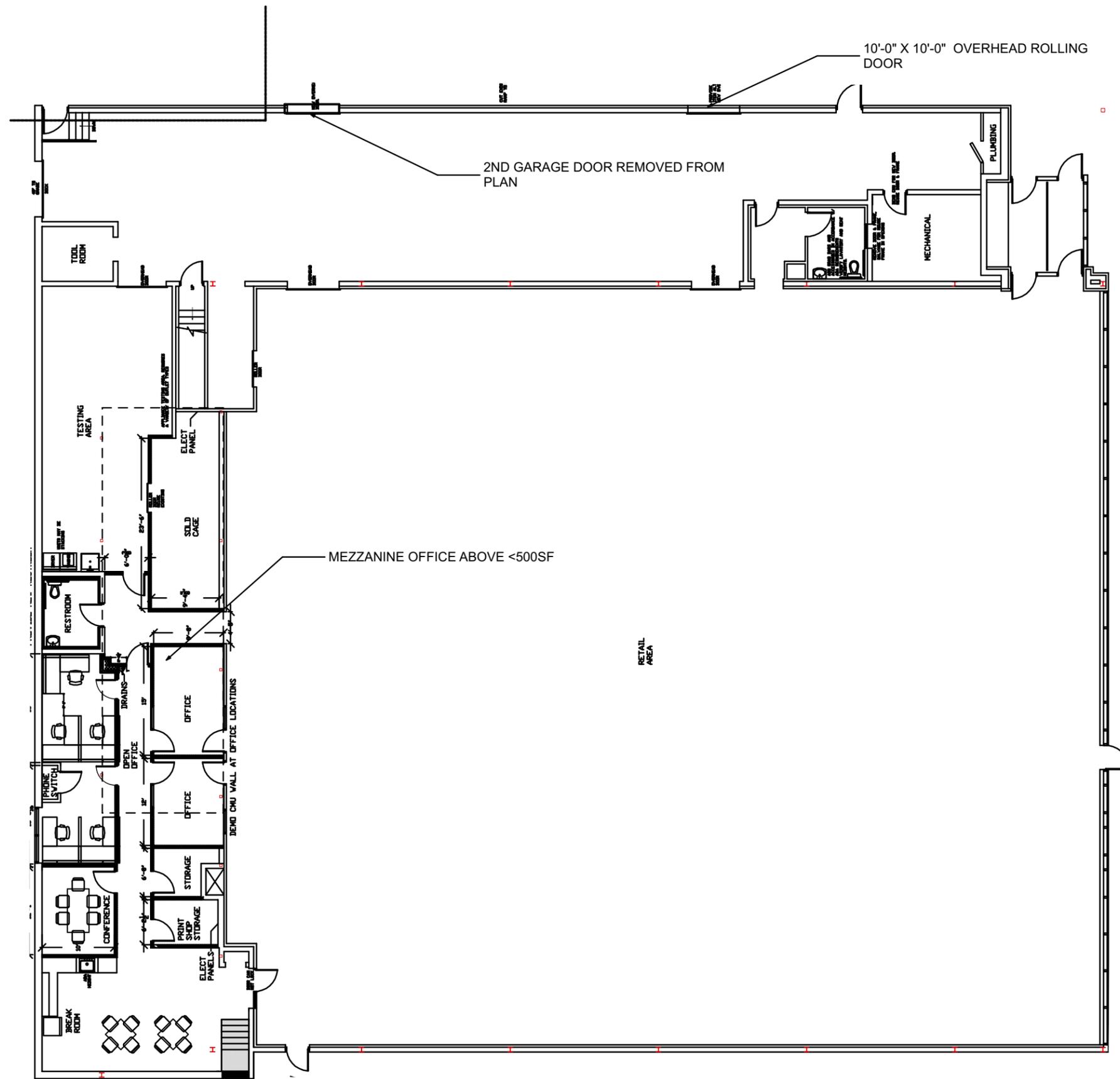
Valerie Johnson
CEO

OFFICE: 1014 Fiedler Ln, #29
Madison, WI 53713

PHONE: (608) 255-1549
FAX: (608) 255-1823

E-MAIL: habitat@habitatdane.org
INTERNET: www.habitatdane.org





FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"



CONSULTANTS

JAMES WIDDER ARCHITECTS
Subsidiary of <http://www.GreenWave.mn>
2239 Eton Ridge, Madison Wisconsin 53726
(608) 515-9439 jwidder@greenwave.mn

SITE IMPROVEMENTS 4207 Monona Drive

4/16/14	ISSUED FOR CITY REVIEW
5/20/14	ISSUED FOR 2ND REVIEW

SHEET TITLE

FIRST FLOOR PLAN

A-102

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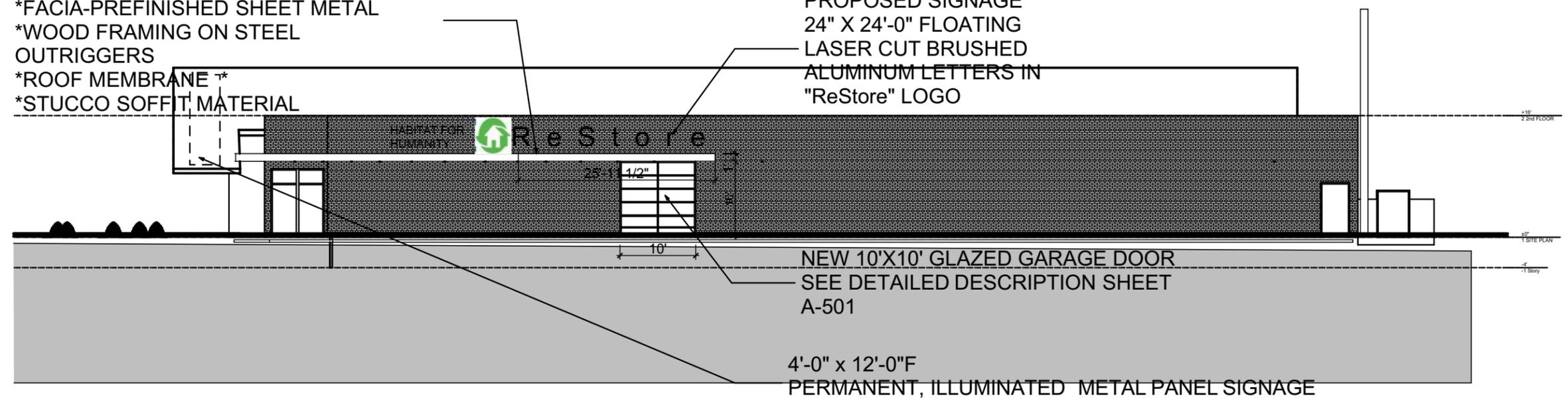
SHEET TITLE

NORTH ELEVATION

A-201
SHEET 3 OF 5

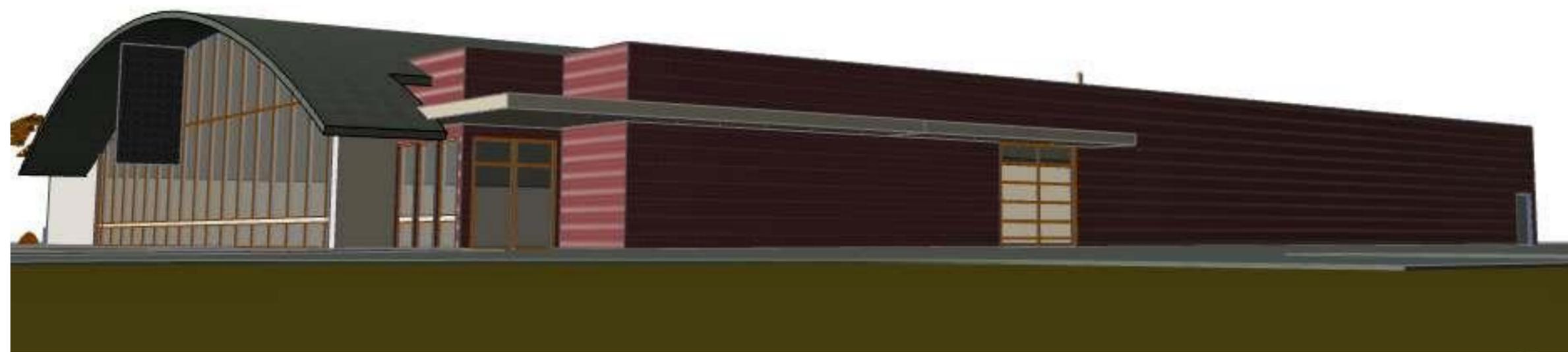
EXTENDED EAVE AND SOFFIT
EXTENDED EAVE WITH DOWN LIGHTS TO MATCH EXISTING:
*FACIA-PREFINISHED SHEET METAL
*WOOD FRAMING ON STEEL OUTRIGGERS
*ROOF MEMBRANE *
*STUCCO SOFFIT MATERIAL

PROPOSED SIGNAGE
24" X 24'-0" FLOATING LASER CUT BRUSHED ALUMINUM LETTERS IN "ReStore" LOGO



NORTH ELEVATION

SCALE: 1/16" = 1'-0"



PERSPECTIVE VIEW FROM NORTHEAST





REPRESENTATIVE STORM WATER BIO SWALE

e-conolight® CUTOFF WALL PACK
250/400 WATT
(E-WPDH25QZ, E-WPDP25QZ, E-WPDH40QZ, E-WPDP40QZ)

Applications – Security, pathway and perimeter lighting; ideal for entry ways, walkways and parking facilities and other applications where control of spill light is important.
Typical Mounting Height: 250W = 15 to 25 feet 400W = 20 to 30 feet
Typical Spacing: 2 to 3 times the mounting height



9-1/4"H x 18-1/8"W x 17-1/4"D
One mogul base lamp included

Catalog #	Description	Ballast	Lamp Base	Lamp	Weight	Lamp Output	Lamp Color Rendition
E-WPDH25QZ	250-watt High Pressure Sodium (HPS) Wall Pack	120/208/240/277-volt CWA ballast HPF	E39	Clear, mogul base (-HP250)	32.7 Pounds	26000 lumens	22 CRI
E-WPDP25QZ	250-watt Pulse Start Metal Halide (PSMH) Wall Pack	120/208/240/277-volt CWA ballast HPF	E39	High performance H75 Clear, mogul base **	31.4 Pounds	22000 lumens	65 CRI
E-WPDH40QZ	400-watt High Pressure Sodium (HPS) Wall Pack	120/208/240/277-volt CWA ballast HPF	E39	Clear, mogul base (-HP400)	35 Pounds	48000 lumens	22 CRI
E-WPDP40QZ	400-watt Pulse Start Metal Halide (PSMH) Wall Pack	120/208/240/277-volt CWA ballast HPF	E39	High performance H75 Clear, mogul base **	33 Pounds	40000 lumens	65 CRI

Features

- Sturdy die-cast aluminum housing and lens frame, with dark-bronze polyester powder-coat finish
- Fixed cutoff glare shield to reduce light pollution
- Tempered-glass lens, thermal shock and impact resistant
- 1/2-inch NPT tapped and plugged holes located two on back, one on top and two sides for easy wiring access
- Hinged door frame for easy relamping
- Optional photocell available
- 1 year warranty
- UL listed for wet locations
- ** Supplied with Venture Lighting Uni-Form Pulse Start Metal Halide lamps**

Accessories



Photocell, field installed

CAT.#: E-ACP1 (120 volts)

CAT.#: E-ACP2 (208/240/277 volts)

1501 96" Street Sturtevant, Wisconsin 53177 | (888)243-9445 | Fax (262)504-5409 | www.e-conolight.com

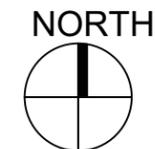
EXTERIOR LIGHTING SPECIFICATION



REPRESENTATIVE TRASH ENCLOSURE



LOADING DOOR MODEL



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SHEET TITLE

PROJECT DETAILS



PANEL TRUCK IN STORED POSITION



PANEL TRUCK IN STORED POSITION



PANEL TRUCK IN STORED POSITION FROM MONONA DRIVE



PANEL TRUCK IN LOADING POSITION

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SHEET TITLE

LOADING TRUCK PARKING



A-801