

Plan Commission Meeting Date: January 27, 2014

PLAN COMMISSION (Agenda Item 5.C. and 5.D.)

AGENDA ITEM:

Recommendation on Request by Four Lakes Yacht Club for a Zoning Permit for a Deck Addition at 6312 Metropolitan Lane.

REQUESTED BY:

Mike Duesing, Director of Buildings and Grounds for the Four Lakes Yacht Club

Tom Thompson, Four Lakes Yacht Club President

Case No.

2-001-2014

PERMIT/POLICY ANALYSIS STATEMENT:

Brief Description of Proposal:

The site at 6312 Metropolitan Lane is currently developed with a yacht club building and parking lot. The building is adjacent to the Yahara River. Between the building and the river is existing pavement, deck structures, and a stairway structure. The building is owned by the Four Lakes Yacht Club. There is a tenant space in the building that is currently leased for use by a restaurant and bar, the Bourbon Street Grille.

Mike Duesing, Director of Building and Grounds at the Four Lakes Yacht Club has submitted plans proposing to add a new deck to the waterfront side of their building and to replace an existing staircase that is in disrepair.

Current Policy or Practice

Approval of a zoning permit by the Plan Commission is required for substantial additions or new construction in the Community Design District (CDD) Zoning District according to Sec. 13-1-180 of the Monona Municipal Zoning Code.

Recommendation

Approval of a Zoning Permit for a Deck Addition to the Four Lakes Yacht Club Building at 6312 Metropolitan Lane, as proposed, according to Section 13-1-180 of the Monona Municipal Code of Ordinances, is recommended with the following findings of fact and conditions of approval:

Findings of Fact:

- 1. The proposal is compliant with the City of Monona's Shoreland-Wetland Zoning Ordinance development standards in Section 13-2-3(c)(2) of the City of Monona Code of Ordinances.**
- 2. An erosion control permit is not required because the area of land disturbance is less than 3,000sf and is not required by the Director of Public Works.**
- 3. Additional parking stalls are not required on the site because the deck addition is an expansion of the building and not an expansion of the restaurant business, the Bourbon Street Grille, and existing capacity of the restaurant is expected to be reallocated in the space rather than expanded.**

Conditions of Approval:

- 1. Approval of all building permits required by State and local agencies shall be obtained.**
- 2. Seating shall not be added to the restaurant above and beyond the number of seats that currently exists in the restaurant.**
- 3. Alcohol consumption on the new deck will require an extension of the licensed premises and an application must be filed with the City Clerk.**
- 4. The temporary stairway shown on the site plan submitted 1/2/14 on page S1.2 is allowed only during construction and must be removed upon completion of the project's construction.**
- 5. Because the Four Lakes Yacht Club is proposing to use the property at 6300 Metropolitan Lane, owned by Madison Metropolitan Sewerage District (MMSD), for a portion of the temporary stairway to be used during construction, an agreement between the Yacht Club and MMSD shall be documented prior to the beginning of construction.**
- 6. Because the Four Lakes Yacht Club is proposing to use the property at 6300 Metropolitan Lane, owned by Madison Metropolitan Sewerage District (MMSD), for siting of construction equipment during construction activities for this project, an agreement between the Four Lakes Yacht Club and MMSD for this purpose shall be documented prior to the beginning of construction.**
- 7. Any existing landscaping on the north side of the building including approximately five large arbor vitae and one large evergreen tree is required to remain and shall be returned to its existing condition if it is disturbed during construction activity.**
- 8. Exterior lighting and/or speakers shall not be added to the new deck.**
- 9. The new deck shall be subject to the previously approved zoning permit and conditions for outdoor live music as approved by the Plan Commission 5/27/08.**

Item 5.C. and 5.D. Recommendation on Request by the Four Lakes Yacht Club for Approval of a Zoning Permit for a Deck Addition at 6312 Metropolitan Lane.

Plan Commission Meeting January 27, 2014

Background on the Building and Site

The site at 6312 Metropolitan Lane is currently developed with a yacht club building and parking lot. The building is adjacent to the Yahara River. In-between the building and the river is existing pavement, deck structures, and a stairway structure.

The building at 6312 Metropolitan Lane is owned by the Four Lakes Yacht Club. Members of the Yacht Club utilize private boat slips on the river and an indoor marina for boat parking underneath the building. This indoor marina is accessible through a bay door off the Yahara River. There is a tenant space in the building that is currently leased by a restaurant and bar, the Bourbon Street Grille. There are currently two decks and a staircase on the waterfront side of the building.

Proposal

The Four Lakes Yacht Club is proposing to add a new deck to the waterfront side of their building at 6312 Metropolitan Lane and to replace an existing staircase that is in disrepair. Mike Duesing, Director of Buildings and Grounds, has submitted plans for this proposal and is representing the Yacht Club. Conor Nelan of Cold Spring Designs prepared the plans.

There are two existing decks on the waterfront side of the Four Lakes Yacht Club building, one on the roof top and a second at the level of the tenant space's exit door. A stairway currently descends from the second deck down to ground level.

A third deck is proposed to be built between the existing second deck and the existing stairway platform. The new deck is shown in the tan color on the photo rendering.

Repair of the stairway is also proposed as they are in poor condition. The new stairway is proposed to be built in the exact same location and with the same design as the existing stairway. It will not encroach any further toward the Yahara River.

Plans Submitted

The following plans have been submitted:

- Letter of application from Conor Nelan, Architect, Cold Spring Design, LLC, dated December 28, 2014;
- Title sheet TSO.0;
- Demolition Plan AO.1;
- Ground Level Plan A1.0;
- Mid-Level Deck Plan A1.1;

- East Elevation Options A2.0;
- Structural Details S2.0;
- Structural Details S3.0;
- Structural Notes & Schedule S0.0 ;
- Foundation Plan S1.1;
- 1st Floor Framing Plan S1.2;
- 3-dimensional color renderings of proposed deck (three pages).

At the Plan Commission meeting 1/13/14, the Commission stated that additional sets of architectural drawings did not need to be resubmitted for the next meeting. Commissioners should bring the plan set submitted for the 1/13/14 meeting to the 1/27/14 meeting.

Public Hearing and Prehearing Conference Held January 13, 2014

A public hearing for this proposal was scheduled on the Plan Commission meeting agenda 1/13/14. One nearby resident appeared and expressed the following concerns:

Pamela Meicher, 6311 Winnequah Road, appeared and presented her concerns with the proposal. She said she lives across the river from the property and that there have been many issues in the past with the Bourbon Street Grille's use of the property and noise that has come from parties held at the restaurant. She said she is concerned that if the space is built out further there will be more people, more noise, and more problems. She said she has lived at her present location her entire life, enjoys the quiet, and does not want to hear excessive noise after 9pm.

During the prehearing conference scheduled 1/13/14, the Plan Commission discussed the following:

Relation of the new deck on the Yacht Club's building to the use of the space by the Bourbon Street Grille tenant:

The Plan Commission discussed the proposed deck addition and asked the applicant if seating would be added to this space and if it would affect the capacity of the tenant's restaurant, the Bourbon Street Grille.

Mr. Duesing said that the tenant is not interested in additional seating that would exceed the number of seats they currently use.

Ms. Devenish asked the applicants to confirm whether there will be additional seating. She said that the neighbors have had issues in the past with noise. She added that if chairs are just being moved around and reallocated in the space that is not as big of an issue as new capacity being added. She said that the Commission needs to be consistent with what has been approved for Bourbon Street Grille's zoning permits in the past and ensure that concerns of the neighbors continue to be addressed.

Mr. Kugle agreed that if capacity is increased for the Bourbon Street Grille it would affect the tenant's zoning permit.

Chair Busse asked if any lighting or speakers will be added to the new deck. He said this would not be allowed without reviewing the zoning permit for the Bourbon Street Grille.

Mr. Duesing said no lighting or speakers will be added to the new deck.

Ms. Reichertz said any changes in the capacity of the Bourbon Street Grille would require specific review of the approved zoning permit for use of the space by the restaurant.

Mr. Duesing said that he will invite the owner of the Bourbon Street Grille, Patrick Mackesey, to the next meeting and will confirm that no new seating will be added to the restaurant.

Clarification of the Deck Location:

Mr. Duesing stated that the 3-D rendering of the building may be confusing because it does not show the existing deck that is the highest on building, the roof top deck. He said no alterations are proposed for the roof top deck. There is a second deck that currently exists at the waterfront exit of the restaurant and there are no alterations proposed to this second deck except for a new railing. He stated that a new third deck is the structure that is being proposed. The location of the new third deck is between the existing second deck and the existing staircase platform. The stairway would be replaced but not altered in any other way.

Department of Natural Resources Permitting:

Mr. Kugle said the improvements in general are welcome and agreed that the building is beginning to look its age. He asked the applicant if there were any concerns from the Department of Natural Resources (DNR) regarding this proposal.

Mr. Duesing said Seymore Environmental Services conducted a soils test to investigate contamination from fuel tanks on the site. He said the results show the site is clean.

Mr. Kugle asked about any DNR concerns regarding construction near waterways such as a Chapter 30 Permit.

Mr. Duesing said he will follow-up with more information.

Temporary Materials:

Ms. Reichertz said the applicant has been asked to remove the temporary banner signage on the waterfront side of the building that has been in use longer than the time frame that is allowed per the Sign Code. She also said a temporary vinyl tent structure has been in

use for a long period of time and that this must be removed; permanent structures require review by the Plan Commission and there are standards for materials and design.

Alcohol Licensing:

If the Bourbon Street Grille intends to allow alcohol consumption on the proposed new third deck that an application will need to be filed with the City Clerk for an extension of their licensed premises.

The Commission stated that the architectural drawings for the deck did not have to be resubmitted for the next meeting.

Public Hearing Scheduled for January 27, 2014

A public hearing has been scheduled on the agenda to notify area property owners/businesses of the proposal and allow them the opportunity to comment. A notice of the public hearing was mailed 1/20/14 according to the attached list and map.

Consistency with Zoning Ordinance, Comprehensive Plan, and Surrounding Uses

The property at 6312 Metropolitan Lane is zoned Community Design District (CDD). The addition proposed is a substantial addition/new construction which requires approval of a zoning permit by the Plan Commission according to Sec. 13-1-180 of the Monona Municipal Zoning Code.

Plans submitted are reviewed for compliance with the Use and Site Performance Standards of the Zoning Code, standards in the CDD Zoning District Section of the Code, Appendix A of the Code, and all other applicable sections of the Monona Municipal Code of Ordinances.

Bourbon Street Grille – Potential Addition of Seating on Proposed New Deck

At the prehearing conference held January 13, 2014, the Plan Commission discussed the proposed deck addition and asked the applicant if seating would be added to this space and if it would affect the capacity of the tenant's restaurant, the Bourbon Street Grille.

Background information on the zoning permit for Bourbon Street Grille, originally approved by the Plan Commission in 2004, and an amendment to this zoning permit approved in 2009, is attached. Also included are copies of the minutes from the meetings held January 12, 2009 and April 13, 2009. At these two meetings, the Plan Commission discussed the parking available at the site for use by the Bourbon Street Grille including parking stalls at the Yacht Club, on Metropolitan Lane, boat slips on the river, and an agreement for shared parking with Riverwood Apartments in Madison across Bridge Road. A previously documented agreement with EDS (6406 Bridge Road) for shared parking was revoked in 2009. The Plan Commission determined that the restaurant had enough parking without shared parking at EDS. According to the attached email from Pat Mackesey to former City Planner Paul Kachelmeier, dated April 7, 2009, the required number of stalls for the restaurant is eighty-seven (87) and the provided number of stalls

is ninety-seven (97). This number does not include the previous agreement with EDS for forty-four (44) stalls.

The applicant Mike Duesing stated that Pat Mackesey (Tenant, Bourbon Street Grille) will not be adding any additional seating to the proposed new deck but instead will reallocate seating that already exists on the outside decks. The purpose, he said, is to move the existing seating into a spot that would receive more sunlight. Mr. Duesing also said that no additional lighting, speakers, etc. would be added to the new deck space. Staff discussed with Mr. Duesing how these items affect the existing zoning permit for the tenant, Bourbon Street Grille, and that if these items were altered/added it becomes an issue of the tenant's existing zoning permit and it would need to be reviewed. Mr. Mackesey will be at the next Plan Commission meeting and would be available for questions. This information is also stated in the letter dated January 22, 2014 from Mike Duesing.

Parking requirements in the Zoning Code for a restaurant, bar, tavern, or night club is based on the number of seats, or if no design layout, parking requirements are based on square feet of gross floor area. The requirements are as follows:

- At least one (1) parking space for each three (3) seats based on capacity design
- Or, when there is no design layout, one (1) space for each thirty-five (35) square feet of gross floor area.

The new proposed deck has no seating layout and the applicants have stated there will be no new seating added to this deck but instead, existing seats could be reallocated and moved onto this deck. Per the Code, seating is not calculated only on number of seats, but also on gross floor area when there is no design as described above. The new deck is about 1,000 square feet in size. Because one (1) stall is required for each thirty-five (35) square feet of space, this new deck would technically require twenty-eight (28) additional parking stalls for the restaurant use for a total of 115 required stalls (87 stalls required per documentation in 2009 + 28 stalls for the new deck). According to this calculation, the restaurant with a new deck added would be short about eighteen (18) parking stalls.

In reading the attached minutes from April 13, 2009, the Plan Commission stated that about eighty (80) tables on the outdoor decks and boat slips parking stalls are seasonal and would not be used in inclement weather or in the offseason. The times when parking could be an issue is therefore during the summer months on nice days. Parking needed could also be reduced with the expectation that patrons of the restaurant/bar could be walking from the multi-family neighborhood across Bridge Road in Madison.

For the following reasons, staff does not believe the added space of the new deck will require revision of the zoning permit for use of the space by the Bourbon Street Grille with regard to parking:

- The tenant and building owner will not add seating to the restaurant (stated in letter from Mike Duesing 1/22/14). Existing seating in the restaurant may be moved from other places to the new deck so that patrons may sit in a sunnier outdoor area on nice days.

- During most of the year, due to inclement weather and the winter season, the outdoor decks will not be used. The new space will therefore not impact available parking during most of the year.
- Parking needed could also be reduced with the expectation that patrons of the restaurant/bar could be walking from the multi-family neighborhood across Bridge Road in Madison.

If parking becomes an issue as a result of the new deck, the Plan Commission reserves the right to review the zoning permit for the tenant and adjust the required number of stalls they must have.

Noise

Use of the outdoor space has been in concern in the past largely because of complaints of loud music and noise. A temporary permit for outdoor live music was also approved in 2008 and was renewed in 2009 after no additional complaints were received. This permit with twelve conditions of approval is attached. All of the conditions regarding the outdoor live music zoning permit that was renewed in 2010 should remain in effect.

Department of Natural Resources (DNR)

Staff asked the applicant to determine if approval of any permits from the DNR would be required regarding the proposed construction along the waterfront, and with any excavation required for footings or repairs to the seawall.

Mike Duesing notified Staff that he had spoken with Wendy Peich, Water Management Specialist with the DNR, regarding permitting for the proposed projects. According to Mr. Duesing, the DNR did not have any concerns with the deck or stairway since the structures do not encroach any further toward the water than the current location of the structures. The DNR also stated that work on the existing seawall that is done on the building side of the seawall (interior, away from the water), that there are also no DNR concerns. If work is done on the seawall on the water side of the wall, however, this will be an issue and will require a Chapter 30 permit. This information is also stated in the letter dated January 22, 2014 from Mike Duesing. Seawall work is currently not proposed as a part of this deck addition and stair replacement project and the plans submitted state, "Existing Seawalls to Remain Unchanged."

City of Monona Shoreland Zoning Ordinance

Plans submitted by Mr. Duesing and a FEMA Flood Insurance Rate Map of the area were sent to the City's Consulting Engineer, Darrin Pope, for review according to the City of Monona Shoreland Zoning Ordinance. A letter from Darrin Pope dated January 20, 2014 is attached with his comments regarding the Shoreland Zoning Ordinance. It is the opinion of Darrin Pope that the submitted plans indicate compliance with the development standards of Section 13-2-3(c)(2) of the Monona Code of Ordinances.

Erosion Control

The attached letter from Darrin Pope dated January 20, 2014 includes comments regarding the necessity of an erosion control permit. He states that the land disturbed as part of this proposed project is less than the 3,000 square feet that would trigger a required erosion control permit. Because the project is adjacent to a waterway, an erosion control permit could still be required by the Director of Public Works, Dan Stephany. Dan Stephany reviewed the proposed plans once prior to the prehearing conference on January 13, 2014. Staff discussed the issue again with the Mr. Stephany and his determination was that an erosion control permit will not be required.

Proposed Design

The letter submitted states that the new deck portion is to be constructed of composite flooring that resembles wood while the rails would be fabricated from steel or stainless steel cables. The main structural posts and rails will be stained to match the deck. The orientation of the railing bars on new deck is vertical, while the existing deck has horizontal bars. The Plan Commission did not state any concerns with the design of the deck and stairway at the prehearing conference held January 13, 2014.

Use of MMSD Property

The Madison Metropolitan Sewerage District (MMSD) owns the property at 6300 Metropolitan Lane and operates their pumping station No. 7 at this location. This property is directly adjacent to the Yacht Club's building at 6312 Metropolitan Lane.

I received an email from Todd Gebert, MMSD Collection System Engineer, on January 22, 2014. This email is attached and raises two concerns listed below. Mike Duesing and Todd Gebert spoke on 1/23/14 and are resolving the concerns as described below.

1. On Sheet S1.2 of the plan set a temporary exit stair is shown for use during construction. It appears that a substantial portion of the stairs will be on our property. MMSD has a 60" interceptor sewer in this area and some arborvitae landscaping that may be disturbed. In addition we have concerns related to liability for anyone who is accessing our property during construction. Has this issue been addressed at all by the applicant?

Mike Duesing confirmed that some portion of the temporary staircase will be located on the MMSD property. According to Mr. Duesing, MMSD is agreeable to this as long as a liability statement is documented that would not hold MMSD responsible if any accidents were to happen during construction or as a result of the Yacht Club's construction activity.

The temporary staircase would be installed during construction only and would be removed upon completion of construction. Construction is anticipated to last about one month.

2. At one time the Yacht Club proposed the use of our property for siting of a crane but approval was never granted by MMSD. Has there been any mention of access requirements by the applicant in their submittal?

Mike Duesing confirmed that the Yacht Club would like to use the MMSD property for siting of equipment during construction. MMSD stated that they are agreeable to this but will require the Yacht Club to return their property to its current condition including the existing arborvitae.

This also becomes an issue of the zoning permit approval for this proposed new deck. The existing arbor vitae provide screening for the rear of the building, the decks, tables, and patrons that use the space. The landscaping also likely provides some sort buffer from noise. Staff recommends that this landscaping be required to be returned to its existing condition if it is disturbed during construction activity.

The City will not authorize use of the MMSD property by the Yacht Club. An agreement between the two parties should be documented.

Department Review

Materials were distributed to City Department Heads. These reports are attached, and comments returned were as follows:

- City Clerk: If alcohol consumption will take place on the additional space they will need to apply for a premise extension.
- Building Inspector: Determine if any DNR approval is required. Obtain all necessary building permits.
- Police Chief: I'm okay with this, but check with Joan to see if the licensed premises for the Bourbon Street Grille needs adjusting. I thought there was a gate at the top of the stairs (south stairs) is that still there or being removed?
- Public Works Director: No public works, water, sewer issues.



CITY OF
MONONA

5211 SCHLUTER ROAD ■ MONONA, WI 53716-2598
CITY HALL (608) 222-2525
FAX (608) 222-9225
<http://www.monona.wi.us>

ZONING PERMIT

NEW STRUCTURE
 NEW CONSTRUCTION

ENLARGEMENT/ADDITION/ALTERATION
 NEW USE

PERMIT NO.: 2-036-2003

BUILDING PERMIT NO.:

OWNER AND/OR PROJECT:

Bourbon Street Grille Restaurant
Tenant-Patrick Mackesey
Owner-Four Lakes Yacht Club

LOCATION:

6312 Metropolitan Lane

THE APPROVAL OF THIS ZONING PERMIT IS SUBJECT TO THE FOLLOWING
CONDITIONS:

1. According to Sec. 13-1-183(c) of the Monona Municipal Code, all permits are subject to appeal within thirty (30) days after issuance.
2. This approval does not preclude the applicant from obtaining any and all other permits not under the purview of this Permit.
3. The conditions of approval shall also be met as attached, but are subject to confirmation of the minutes of the Plan Commission meeting 2/9/04.
4. According to Sec. 13-1-183(e) of the Monona Municipal Code, this Approval may be revoked if the Conditions of Approval of the permit have not been satisfied, or the holder of the Permit subject to citations under Sec. 13-1-163 of the Monona Municipal Code if conditions of approval are not satisfied.
5. According to Sec. 13-1-181(a) of the Monona Municipal Code a performance bond or irrevocable letter of credit for any of the improvements shown on the approved site plan which have not been completed at the time of request for an occupancy permit, with the amount to be determined by the Plan Commission, may be required before an occupancy permit is granted.

This Zoning Permit is issued for the use or structure described above, at the above location, and as depicted in plans and statements on file with the City of Monona according to Sec. 13-1-180 of the Monona Municipal Code. Having determined that the proposal complies with the standards, procedures, and applicable provisions of the Municipal Code of the City of Monona, I hereby issue this Zoning Permit, effective February 9, 2004.

Paul Koebel Zoning Administrator 4/13/04 Date

DATE OF APPROVAL BY PLAN COMMISSION February 9, 2004
If construction or occupancy has not commenced by August 9, 2004 this zoning permit is void.
The Zoning Administrator may extend this date for just cause.

Plan Commission Meeting
February 9, 2004
Approved by Plan Commission March 22, 2004

Zoning Permit

Bourbon Street Grille Restaurant

6312 Metropolitan Lane

Approved by Plan Commission February 9, 2004

Conditions of Approval

A motion was made by Mr. Homburg, seconded by Aldm. Thomas for approval of a zoning permit for the operation and expansion of the Yacht Club Restaurant at 6312 Metropolitan Lane as proposed, according to Section 13-1-180 of the Monona Municipal Zoning Code with the following conditions:

1. Approval of all building permits for interior and exterior construction as required by the State and the City Building Inspector is required.
2. Adequate shared parking with the neighboring businesses and property owners shall be required for the proposed use.
3. Because of the proximity to a residential area, the owner shall request a special zoning permit from the Plan Commission for outdoor live music.

**Temporary Zoning Permit for Outdoor Live Music
Bourbon Street Grille
6312 Metropolitan Lane
Approved by Plan Commission May 27, 2008
Effective from May 27, 2008 to September 30, 2008**

A motion was approved for an extension of the Temporary Zoning Permit for Outdoor Live Music for the Bourbon Street Grille at 6312 Metropolitan Lane by the Plan Commission on May 27, 2008. This extension is valid until September 30, 2008 with the following twelve (12) conditions:

1. The outdoor live music is limited to a five person group or quintet.
2. The outdoor live music shall be limited to any two (2) days of the week or two (2) occurrences.
3. The outdoor live music shall be limited to a maximum of 4 hours per occurrence including breaks.
4. The outdoor live music is allowed from 4 p.m. to 8 p.m. on weeknights and from 12 p.m. to 9 p.m. on weekends.
5. The outdoor live music shall be limited to live un-amplified music, except for light amplification of vocals and acoustic instruments and drums with brushes only (no drum sticks).
6. The type of music shall be limited to easy listening as proposed by the applicant.
7. The applicant shall provide the dates of the performances to the Plan Commission.
8. This permit may be revoked if the Plan Commission or the City of Monona Police determine there is a violation of this Zoning Permit or of City Noise Ordinances.
9. If no complaints about the outdoor live music are received by the City of Monona through September 30, 2008, the Zoning Permit may be renewed by city staff in 2009.
10. Light trespass from the balcony shall be controlled per city ordinance.
11. Signage shall be installed, as needed, to control dockage hours of operation.
12. Outdoor speakers shall point away from residential properties.

To: Bourbon Street Grille
Date: April 7, 2010
Attn: Pat Mackesey and Liz Duplayee
RE: Temporary Zoning Permit for Outdoor Live Music at Bourbon Street Grille, 6312 Metropolitan Lane

**LETTER OF
 TRANSMITTAL**

WE ARE SENDING YOU:

- Attached
- Under Separate Cover
- Copy of Letter
- Change Order
- Shop Drawings
- Plans
- Samples
- Specifications

Copies	Date	No.	Description
1	April 7, 2010	1	Temporary Zoning Permit for Outdoor Live Music Renewed in 2008

THESE ARE TRANSMITTED as checked below:

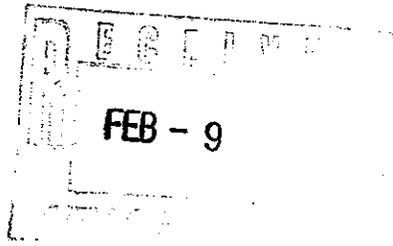
- For Approval
- For Your Use
- As Requested
- For Review and Comment
- Approved As Submitted
- Approved As Noted
- Returned for Corrections
- Resubmit – Copies for Approval
- Submit – Copies for Distribution
- Return – Corrected Prints

<p>REMARKS: Pat and Liz,</p> <p>Enclosed is the temporary zoning permit for outdoor live music. I did not receive any complaints from 2009. If you request renewal of this permit for 2010 according to condition number 9, I can renew it as city staff. Thank you!</p> <p>Paul</p>

Cc: Marty Pilger, City of Monona Building Inspector, Independent Inspections, LTD

Signed: _____
 Paul Kachelmeier, Planning and Community Development Coordinator

FEB 04 2004



COPY: F41



February 3, 2004

To Whom It May Concern:

EDS gives permission for the occupants of the Muskie Lounge to use EDS parking facilities on weekends and evening hours (after 5:00 p.m. is preferred).

Please note that this is not an official agreement and these conditions can be revoked without notice.

We appreciate our shared parking agreement and wish the new occupants great success!

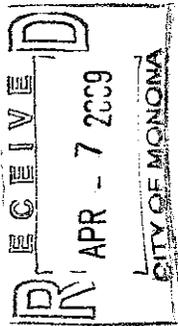
Please contact me should you have any questions.

Thank you.

Marie Bornitzke
EDS
6406 Bridge Road
Madison, WI 53713
608 221 4746 ext. 3004

Paul Kachelmeier

From: Pat Mackesey [pmackesey@aodist.com]
Sent: Tuesday, April 07, 2009 4:16 PM
To: Paul Kachelmeier
Subject: PAT.XLS



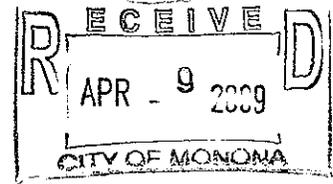
Bourbon Street Grille Seating Configuratuion

Bar	50	BSG Stalls	41
Game Room	22	Boat Slips	13
Dining Room	54	Parking Agreement	35
Patio	56	Total Stalls	89

Rooftop	80	Additional Parking:	
Total Seats	262	EDS (Verbal)	44
Number of Persons Per Car	3	Metropolitan Lane	8
Total Required Parking Spaces	87	Total Parking Stalls	141

**Background: Bourbon Street Grille
Zoning Permit and Parking
Information**

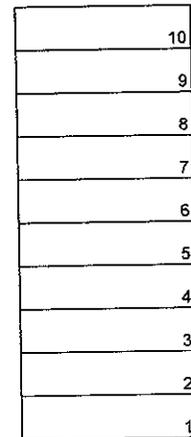
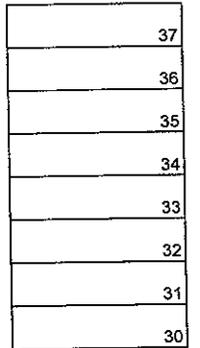
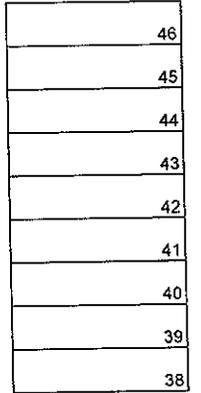
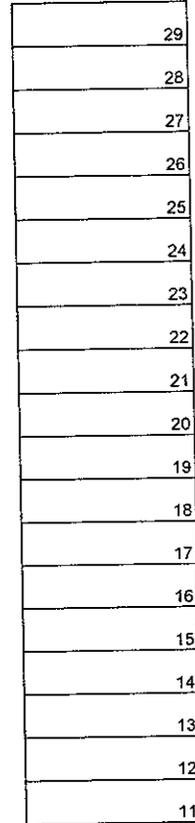
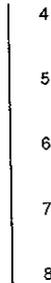
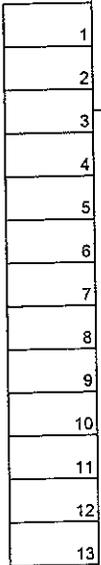
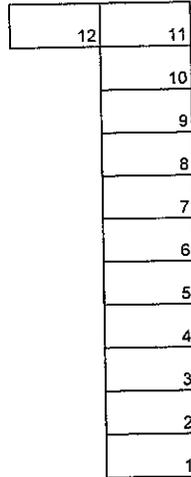
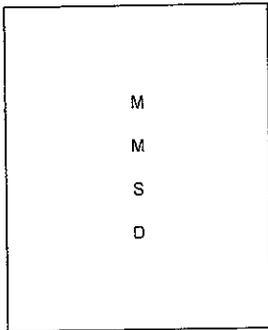
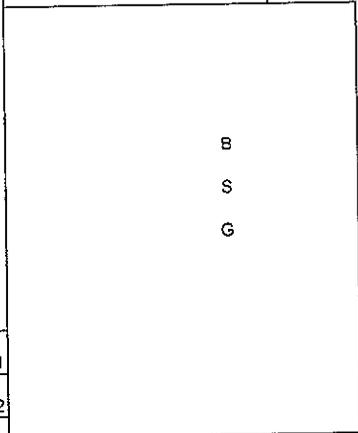
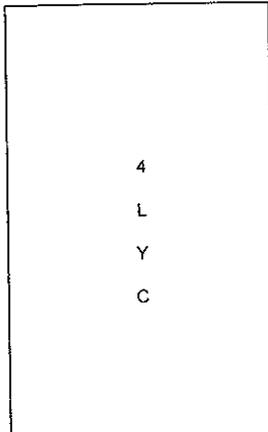
Background: Bourbon Street Grille
 Zoning Permit and Parking
 Information



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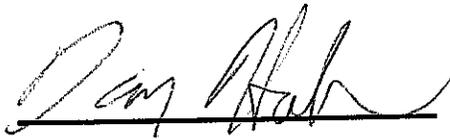
EDS

BRIDGE ROAD

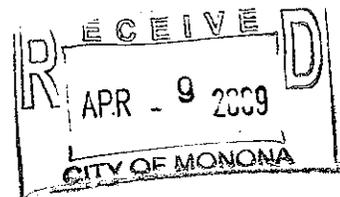
Background: Bourbon Street Grille
Zoning Permit and Parking
Information

April 2, 2009

Riverwood Apartments gives permission for the occupants of the Bourbon Street Grille to use 35 parking stalls between the hours of 11:00 AM and 2:00 AM Sunday through Thursday and 11:00 AM and 2:30 AM on Fridays and Saturdays. Please contact me should you have any questions.



Daniel Hooker
Riverwood Apartments
6431 Bridge Road
Madison, WI 53713
608-575-2309



Plan Commission Meeting
January 12, 2009
Minutes Approved January 26, 2009

Staff said that they could provide an idea of what the costs would be for this work, and an estimate of how much funding is budgeted and is available for the replacement of the entry sails and site and landscaping work in TID No. 2.

NEW BUSINESS

- 6.A. Review of Zoning Permit No. 2-036-2003 for the Four Lakes Yacht Club and the Bourbon Street Grille Restaurant for Compliance with Conditions of Approval and the Monona Municipal Zoning Ordinance Parking Requirements

Planning and Community Development Coordinator Paul Kachelmeier provided background on the parking for the Bourbon Street Grille Restaurant located at 6312 Metropolitan Lane. He said that a Zoning Permit was approved by the Monona Plan Commission on February 9, 2004 for the operation and expansion of the Bourbon Street Grille Restaurant at 6312 Metropolitan Lane. He said that Condition Number two (2) of the Zoning Permit states "Adequate shared parking with the neighboring businesses and property owners shall be required for the proposed use." He said he thought that Condition Number two had been satisfied when the Zoning Permit was approved with the plans by the applicant to have an agreement for parking with EDS, and submittal of a letter from EDS agreeing to share parking with the business. He said that on January 6, 2009 the City received a copy of a letter from Diane Evenson, Account Manager at EDS addressed to Patrick Mackesey at the Bourbon Street Grille stating that effective immediately EDS revokes any permission or license to the Bourbon Street Grille Restaurant or its patrons to park at any time in parking lots or spaces owned or leased by EDS.

Planning and Community Development Coordinator Paul Kachelmeier added that Section 13-1-183(e) Decision of the Commission states that if the Plan Commission determines that the conditions of a zoning permit have not been satisfied, the zoning permit or occupancy permit may be revoked. He said that he had sent a letter to the Four Lakes Yacht Club and to Patrick Mackesey and the Bourbon Street Grille on January 8, 2009, and informed them that the City had received a copy of a letter from EDS on January 6, 2009 stating they had revoked any permission for the Bourbon Street Grille or its patrons to park at any time in parking lots or spaces owned or leased by EDS. In the letter to Four Lakes Yacht Club and to Patrick Mackesey and the Bourbon Street Grille they were asked to submit documentation in the form of written proof of on-site parking, and agreements with adjacent businesses and property owners to comply with the Zoning Ordinance parking standards of at least one (1) parking space for each three (3) seats based on capacity design, or where there is no design layout, one (1) space for each thirty-five (35) square feet of gross floor area, for review of the Plan Commission, and had told them that this

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January 12, 2009
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item will be placed on the agenda of the Plan Commission meeting January 12, 2009 for discussion.

Patrick Mackesey appeared and stated there are 43 parking stalls on the Four Lakes Yacht Club site outside of the secured area.

Mr. Busse asked if we know why EDS revoked their parking.

Liz Duplayee, manager at Bourbon Street Grille appeared and said that EDS has been bought by Hewlett Packard and this may have changed some things.

Mr. Dorschel asked if they have explored parking at all with the former Bank One site that is now Chase Bank.

Mr. Mackesey said he just talked to the owner today about this.

Mr. Homburg said that they had used parking at EDS in the past, and the Bourbon Street Grille business needs this additional off-site parking.

Chair Thomas said we don't know exactly how many stalls they have, and they have not really had much time to put a plan together. She said the following plans and information should be submitted for review by the Plan Commission:

- a site plan showing the parking stalls on the Four Lakes Yacht Club site;

- the ADA parking requirements;

- how many parking stalls is the Bourbon Street Grille required to have according to the Monona Municipal Zoning Ordinance:

 - the total seating capacity indoors, and total seating capacity outdoors for the Bourbon Street Grille in order to use the parking standard in the ordinance of "at least one (1) parking space for each three (3) seats based on capacity design"; or

 - one (1) space for each thirty-five (35) square feet of gross floor area

- what are the plans and agreements for the use of off-site parking.

Chair Thomas said that these plans and information should be submitted for review by the Plan Commission for the first Plan Commission meeting in April, April 13, 2009, or before if they are ready before then, and the applicants should keep City of Monona staff Planning and Community Development Coordinator Paul Kachelmeier updated on the

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progress they are making. Chair Thomas said that the Plan Commission expects a final resolution at this meeting in April, so if the applicants have questions they should attend a meeting before then like in March.

MISCELLANEOUS BUSINESS

Item 7A. Staff Reports

Planning and Community Development Coordinator Paul Kachelmeier described agenda items for the next meeting January 26, 2009, and said that one item that will be on the agenda for sure is a prehearing conference for Menards plans for remodeling and expansion.

Mr. Hendricks asked about the plans for the Medicine Shoppe and about the maintenance of South Towne Mall and Shopko.

Planning and Community Development Coordinator Paul Kachelmeier said that the owner of Rubins Furniture was going to submit plans for development of a new building that he would lease to the Medicine Shoppe at the Rubin's Furniture site at Monona Drive and Winnequah Road.

He also stated that South Towne Mall has been purchased by a new owner, who said they are going to make all of the maintenance improvements requested by the City, and then lease out the part of the building that is currently vacant.

A motion was made by Ms. Devenish, seconded by Aldm. Kugle to adjourn.

The motion carried.

8:00 p.m.

0109-20.2



Mr. Hendricks said the people he spoke with in the community do not support an ordinance amendment to allow residents to keep chickens.

Ms. Devenish said she is not discussing this ordinance where she lives because her neighbors live in condominiums and she would assume that existing neighborhood and condominium agreements would remain intact prohibiting the keeping of chickens.

Mr. Dorschel said the people he has talked to say this use does not conform to their expectations of living in an urban environment and they did not expect to deal with a chicken raising operation and others were indifferent.

Aldm. Kugle said most people he has talked to do not care for the chicken ordinance, but are not against raising chickens in the backyard. He said the issue of keeping chickens has not been brought up at any Family Attraction, Retention, and City Promotion Committee meetings yet. He said he is trying to work to keep the ordinance in some kind of form to avoid getting three quarters of the City offended.

Chair Thomas said the most of the people she talked to who are older are opposed to it and think it's silly. She said her friends in Madison are laughing about it. She said most people with whom she spoke said if some residents wanted to keep chickens, they should move to a more rural area and asked where do they draw the line. She said are they going to allow residents to keep bees, goats, sheep, or cows and how is that any different from keeping chickens.

Mr. Homburg said if it is ambiguous in the current ordinances, if nothing else this ordinance quantifies what is kept and what is not. He said an ordinance acknowledges the keeping of chickens as an acceptable practice and sets guidelines to follow.

Chair Thomas said she has not seen a perfect ordinance or law. She said what you do to one person has negative impacts on another person. She said the more specific you try and get the more problematic it gets because no matter how good an ordinance is, it always leaves something out.

A motion was made by Mr. Hendricks, seconded by Mr. Busse, to table this agenda item.

The motion carried.

→ Item 6C. Public Hearing on Request for the Four Lakes Yacht Club, Represented by Geoff Wilkins, and the Bourbon Street Grille Restaurant Represented by Pat Mackesey for Approval of an Amendment to Zoning Permit No. 2-036-2003 for Compliance with Conditions of Approval for Parking and the Monona Municipal Zoning Ordinance Parking Requirements

Plan Commission Meeting
April 13, 2009
Minutes Approved June 8, 2009

A public hearing on the request for the Four Lakes Yacht Club and the Bourbon Street Grille Restaurant for approval of an amendment to Zoning Permit No. 2-036-2003 for compliance with Conditions of Approval for parking and the Monona Municipal Zoning Ordinance parking requirements was declared open by Chair Thomas.

Pat Mackesey appeared and described his plans for parking at the Bourbon Street Grille. He said that he has a verbal agreement with Marie Bornitski from EDS to use parking in the EDS lot. He said he will have forty-four (44) parking stalls the Four Lakes Yacht Club site to use. He said an adjacent property across Bridge Road the Riverview Apartments in Madison would allow the Bourbon Street Grill customers to park in their lot from 11:00 a.m. to 2:00 p.m. on Sunday to Tuesday, and from 11:00 a.m. to 2:30 p.m. on Fridays and Saturdays.

There were no other appearances and the public hearing was declared closed.

Item 5D. Action on Request for the Four Lakes Yacht Club, Represented by Geoff Wilkins, and the Bourbon Street Grille Restaurant Represented by Pat Mackesey for Approval of an Amendment to Zoning Permit No. 2-036-2003 for Compliance with Conditions of Approval for Parking and the Monona Municipal Zoning Ordinance Parking Requirements

Planning and Community Development Coordinator Paul Kachelmeier said this agenda item was discussed at a prehearing conference at the January 12, 2009 meeting. He asked if the applicant from the Bourbon Street Grille could review the table provided in the agenda packet for the Plan Commission's information. He said in particular, there should be review of the seating the Bourbon Street Grill has and the parking available to accommodate its patrons.

Mr. Mackesey reviewed their parking stall count. He said they have eighty-nine (89) parking stalls available including their site, plus the parking stalls from EDS, and other adjacent property which they are allowed to use.

Planning and Community Development Coordinator Paul Kachelmeier said he notified adjacent property owners of the public hearing such as Chase Bank, EDS, Inland Boats, Mrs. D's and had not received any calls or questions before the meeting.

Aldm. Kugle asked if the number of parking stalls match up with the ordinance requirements.

Planning and Community Development Coordinator Paul Kachelmeier said yes, the applicant now has the required number of parking stalls for the number of seats in their building if all of the parking stalls described by Pat Mackesey are available.

Plan Commission Meeting
April 13, 2009
Minutes Approved June 8, 2009

Mr. Homburg said the zoning ordinance requires a minimum number of parking stalls. He said if a business or other entity always is underparked, the Plan Commission can review the required number of stalls a site must have.

Aldm. Kugle said if EDS would say they will not want to share their parking stalls with the applicant some day in the future, does the applicant still have enough stalls without the agreements with neighboring properties.

Mr. Mackesey said they would have enough parking even without the agreement with EDS.

Mr. Hendricks asked if they have a copy of the agreement between Bourbon Street Grille and EDS for the Plan Commission to review.

Planning and Community Development Coordinator Paul Kachelmeier said no, but he has a copy of the agreement with the River Wood Apartment complex that Mr. Mackesey submitted. He said it looks like EDS will not sign a formal written agreement at this time from what Mr. Mackesey said.

Mr. Hendricks asked if the agreement with EDS should be written.

Chair Thomas said the EDS parking would be extra and it looks like they do not need EDS parking to be in compliance with the current zoning ordinances.

Ms. Devenish asked if the applicant's current parking stall count includes the boat slips.

Planning and Community Development Coordinator Paul Kachelmeier said based on the location, thirteen (13) tables could be boaters at any given time. He said there could be times on a rainy day where none of the boat slips are filled.

Chair Thomas said they count eighty (80) tables on the rooftop that would not be used in inclement weather. She said the rooftop seats and boat slips parking stalls are seasonal.

A motion was made by Mr. Homburg, seconded by Mr. Dorschel, finding that the applicant is in compliance with Zoning Permit No. 2-036-2003.

The motion carried.

Item 5E. Public Hearing for Tully's II, 6401 Monona Drive, Represented by Owner Craig Hayes, Requesting Approval of a Zoning Permit for the Addition of an 8' x 67' Area for Dining, Smoking, and Alcohol Consumption.

A public hearing for Tully's II, 6401 Monona Drive requesting approval of a Zoning Permit for the addition of an 8' x 67' area for dining, smoking, and alcohol consumption was declared open by Chair Thomas.

→ **Sec. 13-1-86 Community Design District.**

- (a) **Characteristics of District.** The Community Design District is characterized by large, predominately undeveloped tracts. Because of the salience of these properties, the community vests a particular interest in the rational, comprehensively planned development. As part of the limited remaining area of undeveloped land within the City, these properties are of critical importance in establishing a balance in land uses and in community services. It is expected that the development of property within this District will take advantage of the flexibility provided by the Planned community development procedure. Further, it is expected that the district development will include a compatible mix of residential, commercial, industrial, or open space uses, which realize the goals of the Master Plan.
- (b) **District Performance Standards.**
- (1) Development shall occur only after coordinated advance site planning to retain the unique character of these tracts and to strike an acceptable balance between natural preservation, growth and development.
 - (2) For each tract, development shall occur according to a large-scale plan rather than on a piecemeal basis. It is intended that this plan be a mutual product of efforts of the property owner and the City. This could be implemented by a policy resolution of the Plan Commission to accept the owner's general development plan for the tract, or it could be implemented by a mutual decision by the owner and the City to rezone the tract to a Planned Community Development based on a General Development Plan.
 - (3) Development shall preserve the maximum possible amount of open space and environmental amenities through techniques such as clustering, site planning and permanent reservation of open space.
 - (4) All uses and their intensity, appearance and arrangement shall be of a visual and operational character which:
 - a. Is compatible with the physical nature of the site, with particular concern for preservation of natural features, open space, tree growth, unique or environmentally significant landforms and unobstructed public views of bodies of water.
 - b. Would produce an attractive environment of sustained aesthetic and ecological desirability, economic stability and functional practicality compatible with the general policy guidelines of the comprehensive Master Plan as well as the specific concerns expressed by the community.
 - c. Would not create traffic or parking demand incompatible with the existing or proposed facilities to serve it unless jointly resolved.
 - d. Would not seriously affect the anticipated provision of school or municipal services unless jointly resolved.
 - e. Serve regional and community needs for employment, open space, moderate-cost housing, lake access and/or recreational facilities.

Sec. 13-1-87 Conservancy District.

- (a) **Purpose and Intent.** The Conservancy District is established to preserve in a natural open state certain areas such as lakes, waterways, shorelands, wetlands, marshes, floodplains, stream beds, slopes and other areas of aesthetic and ecological value, which, because of their unique physical features, are desirable and functional as natural drainageways, water retention area, natural habitats for plant and animal life, or protected open space. The regulations of the Conservancy District are intended not only to preserve certain open space land and water areas for uses consistent with the intent and purpose of this Code but also to protect the community from the costs, which may be incurred when unsuitable development occurs in certain areas. Development in the Conservancy District is limited in character, although certain agricultural, public and recreational uses are permitted when controlled by specific limitations.
- (b) **Characteristics of District.** The Conservancy District is characterized by land and water preserves, arboretums, boating, fishing, harvesting by hand of wild crops, public recreational facilities, the



City of Monona

Planning and Community Development

Sonja Reichertz
City Planner
Assistant Economic Development Director

5211 Schluter Road
Monona, Wisconsin 53716
Phone: 608-222-2525
sreichertz@ci.monona.wi.us
www.mymonona.com

January 6, 2014

Dear Monona Resident or Business Owner:

You are receiving this public hearing notice because you own or occupy a building that is close to another property for which a request is coming before the Monona Plan Commission. The following items are scheduled on the agenda for a Plan Commission meeting on Monday, January 13, 2014 at 7:00 p.m. at the Monona Public Library, 1000 Nichols Rd (Community Media Room):

Public Hearing on Request by Four Lakes Yacht Club for a Zoning Permit for a Deck Addition at, 6312 Metropolitan Lane Represented by Mike Duesing.

Prehearing Conference on Proposal by Four Lakes Yacht Club for a Zoning Permit for a Deck Addition at, 6312 Metropolitan Lane Represented by Mike Duesing.

If you have any comments or questions on this proposal, you are welcome to attend this meeting and express them during the public hearing. An electronic copy of the materials submitted, a staff report, and a finalized agenda will be posted on the City of Monona website at <http://www.mymonona.com> under the Plan Commission meeting date on the City of Monona's Public Meeting Calendar. A hard copy of the materials submitted is also available for review at City Hall. Please contact me at (608) 222-2525 or at sreichertz@ci.monona.wi.us if you have any questions regarding the proposed development plans.

Sincerely,

Sonja Reichertz



City of Monona

Planning and Community Development

Sonja Reichertz
City Planner
Assistant Economic Development Director

5211 Schluter Road
Monona, Wisconsin 53716
Phone: 608-222-2525
sreichertz@ci.monona.wi.us
www.mymonona.com

January 20, 2014

Dear Monona Resident or Business Owner:

You are receiving this public hearing notice because you own or occupy a building that is close to another property for which a request is coming before the Monona Plan Commission. The following items are scheduled on the agenda for a Plan Commission meeting on Monday, January 27, 2014 at 7:00 p.m. at the Monona Public Library, 1000 Nichols Rd (Community Media Room):

Public Hearing on Request by Four Lakes Yacht Club for a Zoning Permit for a Deck Addition at 6312 Metropolitan Lane, Represented by Club President Tom Thompson and Director of Buildings and Grounds Mike Duesing.

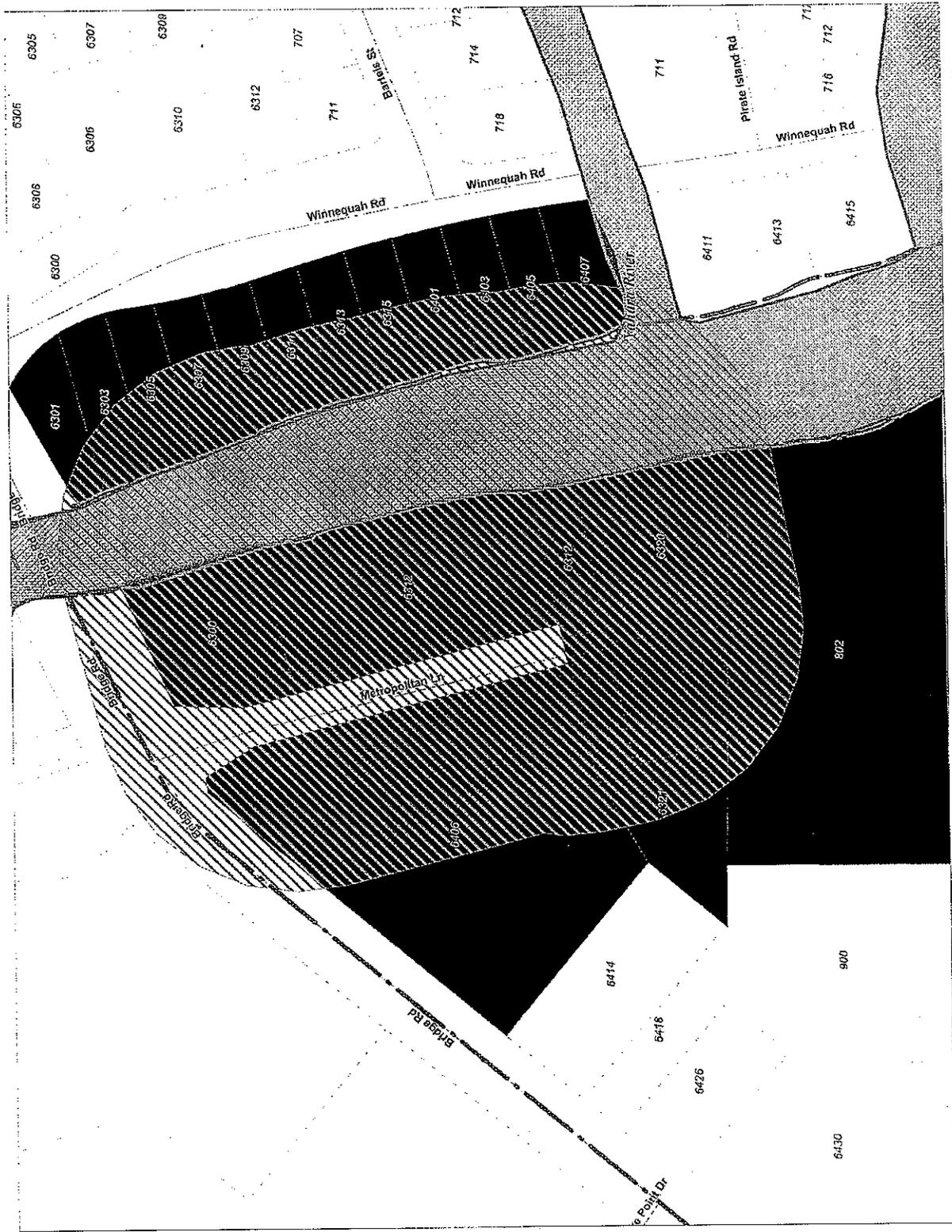
Consideration of Action on Request by Four Lakes Yacht Club for Approval a Zoning Permit for a Deck Addition at 6312 Metropolitan Lane, Represented by Club President Tom Thompson and Director of Buildings and Grounds Mike Duesing.

If you have any comments or questions on this proposal, you are welcome to attend this meeting and express them during the public hearing. An electronic copy of the materials submitted, a staff report, and a finalized agenda will be posted on the City of Monona website at <http://www.mymonona.com> on the Plan Commission page, accessible by following the Most Recent Agenda link. A hard copy of the materials submitted is also available for review at City Hall. Please contact me at (608) 222-2525 or at sreichertz@ci.monona.wi.us if you have any questions regarding the proposed development plans.

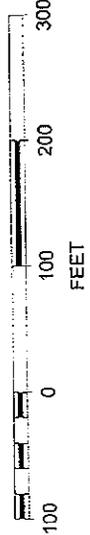
Sincerely,

Sonja Reichertz
City Planner/Assistant Economic Development Director

City of Monona GIS - 6312 Metropolitan Ln Public Hearing Notice Recipients



SCALE 1 : 1,720



Cadastral

- River
- Water
- Road Centerline
- PLSS Sections
- Town
- Buffer layer
- Parcel
- Parcel Address
- Corporate Limits

802 WEST BROADWAY LLC
2310 PENNSYLVANIA AVE
MADISON WI 53704

INLAND LAKES LAND COMPANY LLC
6320 METROPOLITAN LN
MONONA WI 53713

WESTGATE CIRCLE LLC
2925 FOREST DOWN
MADISON WI 53711-5394

SOUTHER REV TR
6303 WINNEQUAH RD
MONONA WI 53716

GENEVIEVE M STARK
6305 WINNEQUAH RD
MONONA WI 53716

JAMES W DALTON JR & JUNE ANN
DALTON
6307 WINNEQUAH RD
MONONA WI 53716

HENRY AVE PROPERTIES
W5587 ORIOLE DR
ELKHORN WI 53121

PAMELA A MEICHER
6311 WINNEQUAH RD
MONONA WI 53716

MORK INCOME TR, LESLIE M
613 WINNEQUAH RD
MONONA WI 53716

BERNARD W QUINLAN & CARLENE K
QUINLAN
6315 WINNEQUAH RD
MONONA WI 53716

GREGORY E GARDINER
1186 E LAKE RD
MINERAL POINT WI 53565

JILL E FOSDICK & RANDALL J
THOMPSON
6403 WINNEQUAH RD
MONONA WI 53716

CHARLES E BERNHAGEN
6405 WINNEQUAH RD
MONONA WI 53716

LUCILLE E COATS
6407 WINNEQUAH RD
MONONA WI 53716

MONONA-BRIDGE ROAD LLC
330 E KILBOURN AVE STE 838
MILWAUKEE WI 53202

MADISON METROPOLITAN SEWERAGE
DISTRICT
1610 MOORLAND RD
MADISON WI 53713

FOUR LAKES YACHT CLUB INC
6312 METROPOLITAN LN
MADISON WI 53713

Sonja Reichertz

From: Sonja Reichertz
Sent: Friday, January 17, 2014 5:03 PM
To: mduesing@tds.net
Subject: Plan Commission Follow-Up Jan 13, 2014

Hi Mike,

Thanks for the call today. We reviewed the Plan Commission discussion from the Prehearing Conference on January 13, 2014. We talked about the Plan Commission concern regarding an increase in seating and the Commission's request for confirmation on whether any DNR permitting is required for setbacks or sea wall improvements. I just wanted to recap our conversation in writing.

Regarding the seating, you said that Pat Mackesey (Bourbon Street Grille) will not be adding any additional seating to the proposed deck but instead will reallocate seating that already exists on the outside decks. The purpose, you said, is to move the existing seating into a spot that would receive more sunlight. You also said that no additional lighting, speakers, etc. would be added to the new deck space. We talked about how these items affect the existing zoning permit for the tenant, Bourbon Street Grille, and that if these items were altered/added it becomes an issue of the tenant's existing zoning permit and it would need to be reviewed. You said Mr. Mackesey will be at the next Plan Commission meeting and would be available for questions.

Regarding DNR permitting, you said you talked to Wendy Peich (DNR Waterways). She told you that the deck addition is not an issue at all. If sea wall work is done on the inside of the sea wall this is also not an issue. If work is done on the water side of the sea wall, she said this *will* be an issue and will require a Chapter 30 permit. She said to double-check on Monona's shoreland zoning ordinance and I will look into this.

There was some confusion at the Plan Commission meeting as to where the exact location of the new deck is. The confusion was maybe in part because the color renderings do not show the existing deck that is the highest on the building with horizontal bars (the roof top deck). In order to make sure everything is crystal clear, can you please confirm the following:

- There are no alterations proposed for this roof top deck and the deck is planned to remain in its current state, is this correct?
- There is a second deck that currently exists at the waterfront exit of the restaurant. This is the deck where the temporary tent is currently located. This deck has the existing vertical bar railing. There are no alterations proposed for this second deck, is that correct? Is the railing on this deck proposed to remain as is?
- Finally, a third deck is the deck being proposed in this zoning permit request. This new deck would go in between deck #2 described above and the existing stairway platform. Is that correct?

There is one other point I'd like to clarify. In the letter dated Dec 28th from Conor Nelan, it states, "The attached drawings show the extent of the repairs and also two small portions of deck that we would like to add." We have only discussed one deck portion. Is the "two small portions of deck" incorrect, or am I misunderstanding something? Please clarify.

The Plan Commission did not state any concerns with regard to deck materials or design. The Commission stated that the architectural drawings for the deck did not have to be resubmitted.

Finally, it was already noted that any alcohol consumption on this new deck would require a revision of the licensed premises with the City Clerk.

I can schedule this on the agenda for the January 27th Plan Commission meeting for a public hearing and consideration of action. Please submit a new letter that addresses the three items above (1. Use/seating/lighting/noise by Bourbon Street Grille, 2. DNR concerns, 3. Clairfy proposed deck location) and I will include this information in the commissioner's review packets. You can submit this letter by email. Please have it submitted by Monday the 20th so I can ensure it gets scheduled on the final Plan Commission agenda.

Please let me know if you have any questions.

Thanks,
Sonja

Sonja Reichertz
City Planner & Assistant Economic Development Director
City of Monona
5211 Schluter Road
Monona, WI 53716
Ph: 608.222.2525
sreichertz@ci.monona.wi.us

1/22/2014

Sonja Reichertz
City Planner & Assistant Economic Development Director
City Of Monona
5211 Schluter Road
Monona, WI 53716

Four Lakes Yacht Club Planning Commission Questions.

Bourbon Street Grill is not asking for additional seating. They will be reallocating present seating to the proposed deck. There will be no lighting or speakers added to the proposed deck. Mr. Mackesey is planning on attending the January 27, 2014 Commission meeting.

Wendy Peich of the Wisconsin DNR told me that shoreline work inside of the present seawall will not require a permit. The added deck is not an issue due to it not further encroaching on the riverfront. Shoreline work done on the river side of the seawall will require a Chapter 30 permit.

The rooftop deck will not be altered.

The "second deck" railing will be changed to match the proposed deck's railing. There will be a minor amount of rehabilitation work to this deck. The edge of the deck facing the river has deteriorated and must be repaired to maintain a safe environment. The edge will be either saw cut (at a minimal level) or treated with product to stabilize the edge.

The proposed deck will be located between the second deck and the existing stairway platform.

With regard to Conor Nealon's letter, we will be adding one deck. He may be referring to the stairs which will bisect the proposed deck.

Mr. Mackesey is aware that he will have to revise his licensed premises to serve alcohol on the proposed deck.

I do not recall having the existing zoning permit being called to question. Could you please explain the potential impact of the issue?

Mike Duesing

Four Lakes Yacht Club



January 20, 2014

Ms. Sonja Reichertz – City Planner & Assistant Economic Development Director
City of Monona
5211 Schluter Road **VIA EMAIL**
Monona, WI 53716

Re: Deck Addition – Four Lakes Yacht Club
6312 Metropolitan Lane, Monona, Wisconsin
Site Plan Review

Dear Sonja:

We have received the following documents:

1. Four Lakes Yacht Club Deck Renovation Plans
2. FEMA Flood Insurance Rate Map (FIRM)

The Plans listed under item # 1 above are dated 12/23/13 and were prepared by Cold Springs Design.

The site is currently developed with a yacht club building and an asphalt pavement parking lot. There is an existing pavement slab between the building and the sea wall along the Yahara River with a deck over the paved area.

Per the submitted plans, it appears that they propose to replace the existing asphalt and concrete pavement adjacent to the Yahara River, and expand the existing deck over the paved area.

In terms of the need for an erosion control permit, it appears that the project will disturb less than the 3,000 sf minimum that normally triggers the need for an erosion control permit. However, the project will be immediately adjacent to the Yahara River. Section 15-2-7(7) of the City's Ordinances states that land disturbance less than 3,000 sf that the local approval authority determines to have a high risk of soil erosion, water pollution, or may significantly impact a lake, stream, or wetland area does require an erosion control permit. Therefore, I defer to Dan Stephany's opinion as the City's local approval authority to make that determination.

In terms of the City's Floodplain and Shoreland-Wetland Zoning Ordinance Chapter, based on the FEMA FIRM it appears that the paved area and proposed columns for the deck expansion are in the Floodway District.

Section 13-2-3 permits uninhabited structures in Floodway Districts, but they must comply with the development standards of Section 13-2-3(c)(2) as follows:

Structures accessory to permanent open space uses or functionally dependent on a waterfront location may be allowed by permit if the structures comply with the following criteria:

- o The structure is not designed for human habitation and does not have a high flood damage potential;
- o Mechanical and utility equipment must be elevated or flood proofed to or above the Regional Flood Elevation;
- o It must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the Regional Flood;
- o It must be anchored to resist flotation, collapse, and lateral movement.

The deck is not intended for human habitation, and I do not think a deck has high flood damage potential.

The plans do not propose any mechanical or utility equipment.

I would not expect the addition of the deck columns to increase the Base Flood Elevation, and do not recommend requiring an analysis calculating the effects of the columns on the regional flood height.

The plans show steel support columns anchored to the concrete column footings with steel bolts to resist flotation, collapse and lateral movement.

Therefore, it is my opinion that the submitted plans indicate compliance with the development standards of Section 13-2-3(c)(2) of the City's Code of Ordinances.

If you have any questions, please contact me at 821-3956 in our Madison office.

Sincerely,
VIERBICHER ASSOCIATES, INC.



Darrin R. Pope, PE
Project Manager

cc: Mr. Daniel Stephany – City of Monona Director of Public Works



Sonja Reichertz

From: Todd Gebert <toddg@madsewer.org>
Sent: Wednesday, January 22, 2014 3:34 PM
To: Sonja Reichertz
Cc: Bruce Borelli
Subject: Four Lakes Yacht Club

Hi Sonja,

Hope all is well with your new job. Today MMSD received notice of a public hearing for improvements to the Four Lakes Yacht Club which is located adjacent to our Pumping Station 7 at Metropolitan Lane and Bridge Road. I was actually contacted about this project back in December of 2012 by a member of the yacht club. At that time they were requesting the temporary use of our property to locate a 50-ton crane for construction. We met briefly in the field to review but no agreement was ever reached and I never heard anything further. After reviewing the plans, I have a couple of questions/concerns about the project:

1. On Sheet S1.2 of the plan set a temporary exit stair is shown for use during construction. It appears that a substantial portion of the stairs will be on our property. MMSD has a 60" interceptor sewer in this area and some arborvitae landscaping that may be disturbed. In addition we have concerns related to liability for anyone who is accessing our property during construction. Has this issue been addressed at all by the applicant?
2. As I mentioned earlier, at one time the Yacht Club proposed the use of our property for siting of a crane but approval was never granted by MMSD. Has there been any mention of access requirements by the applicant in their submittal?

Thanks – Todd

Todd Gebert, P.E.
Collection System Engineer
Madison Metropolitan Sewerage District
1610 Moorland Road
Madison, WI 53713
(608) 222-1201 (ext 235)
toddg@madsewer.org

**SITE PLAN REVIEW
DEPARTMENT REVIEW AND RECOMMENDATIONS**

Development Project: Proposed deck renovation and addition for Bourbon Street Grille (building owned by Four Lakes Yacht Club) at 6312 Metropolitan Lane.

This proposal will be scheduled for a Public Hearing and Prehearing Conference at the Plan Commission meeting 1/13/14.

Attachments from Applicant: Letter of application and plan set from Mike Duesing, Director of Buildings and Grounds for the Four Lakes Yacht Club.

Other Attachments: None

Department Review:

Director of Public Works	<u> ✓ </u>
Fire Chief	<u> </u>
City Admin	<u> </u>
City Clerk	<u> </u>
Building Inspection	<u> </u>
Police Department	<u> </u>
Comm. Recreation Director	<u> </u>

Date Received: Mon. 1/6/14

Date Requested by: Weds. 1/8/14

Please return your review with any comments/concerns to Sonja Reichertz, City Planner.

Questions, Concerns, Requirements or Recommendations:

No public works or utility issues.

DJS 1/9/14

**SITE PLAN REVIEW
DEPARTMENT REVIEW AND RECOMMENDATIONS**

Development Project: Proposed deck renovation and addition for Bourbon Street Grille (building owned by Four Lakes Yacht Club) at 6312 Metropolitan Lane.

This proposal will be scheduled for a Public Hearing and Prehearing Conference at the Plan Commission meeting 1/13/14.

Attachments from Applicant: Letter of application and plan set from Mike Duesing, Director of Buildings and Grounds for the Four Lakes Yacht Club.

Other Attachments: None

Department Review:

Director of Public Works	_____
Fire Chief	_____
City Admin	_____ ✓ DSM
City Clerk	_____
Building Inspection	_____
Police Department	_____
Comm. Recreation Director	_____

*1-7-14
Looks fine.*

Date Received: Mon. 1/6/14

Date Requested by: Weds. 1/8/14

Please return your review with any comments/concerns to Sonja Reichertz, City Planner.

Questions, Concerns, Requirements or Recommendations:

SITE PLAN REVIEW
DEPARTMENT REVIEW AND RECOMMENDATIONS *Proposed deck renovation for Bourbon Street grille.*

Development Project:

Proposed 1,700 sf cold storage building at Illingsworth-Kilgust mechanical, 6950 Gisholt Drive.

6312 Metropolitan Lane

This proposal will be scheduled for a Public Hearing and Prehearing Conference at the Plan Commission meeting 1/13/14.

Attachments from Applicant:

Letter of application and plan set from DJ Daggett of Walters Buildings.

Other Attachments:

Zoning Map

Department Review:

Director of Public Works	_____
Fire Chief	_____
City Admin	_____
City Clerk	_____ ✓ _____
Building Inspection	_____
Police Department	_____
Comm. Recreation Director	_____

Date Received: Mon. 1/6/14

Date Requested by: Weds. 1/8/14

Please return your review with any comments/concerns to Sonja Reichertz, City Planner.

Questions, Concerns, Requirements or Recommendations:

If alcohol consumption will take place on the additional space they will need to apply for a premise extension. JH

**SITE PLAN REVIEW
DEPARTMENT REVIEW AND RECOMMENDATIONS**

Development Project: Proposed deck renovation and addition for Bourbon Street Grille (building owned by Four Lakes Yacht Club) at 6312 Metropolitan Lane.

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Attachments from Applicant: Letter of application and plan set from Mike Duesing, Director of Buildings and Grounds for the Four Lakes Yacht Club.

Other Attachments: None

Department Review:

Director of Public Works	_____
Fire Chief	_____
City Admin	_____
City Clerk	_____
Building Inspection	_____ ✓ _____
Police Department	_____
Comm. Recreation Director	_____

Date Received: Mon. 1/6/14

Date Requested by: Weds. 1/8/14

Please return your review with any comments/concerns to Sonja Reichertz, City Planner.

Questions, Concerns, Requirements or Recommendations:

- Any DWR approval required since this structure is over the water?
- Obtain all necessary permits.

**SITE PLAN REVIEW
DEPARTMENT REVIEW AND RECOMMENDATIONS**

Development Project: Proposed deck renovation and addition for Bourbon Street Grille (building owned by Four Lakes Yacht Club) at 6312 Metropolitan Lane.

This proposal will be scheduled for a Public Hearing and Prehearing Conference at the Plan Commission meeting 1/13/14.

Attachments from Applicant: Letter of application and plan set from Mike Duesing, Director of Buildings and Grounds for the Four Lakes Yacht Club.

Other Attachments: None

Department Review:

Director of Public Works	_____
Fire Chief	_____
City Admin	_____
City Clerk	_____
Building Inspection	_____
Police Department	_____ <i>J</i> _____
Comm. Recreation Director	_____

Date Received: Mon. 1/6/14

Date Requested by: Weds. 1/8/14

Please return your review with any comments/concerns to Sonja Reichertz, City Planner.

Questions, Concerns, Requirements or Recommendations:

I'm OK WITH THIS, BUT CHECK WITH JOAN TO SEE IF THE LICENSED PREMISES FOR BSB NEEDS ADJUSTING.

I THOUGHT THERE WAS A GRAP AT THE TOP OF THE STAIRS (SOUTH STAIRS), IS THAT STILL THERE OR BEING REMOVED?

*WALLY
1-8-14*

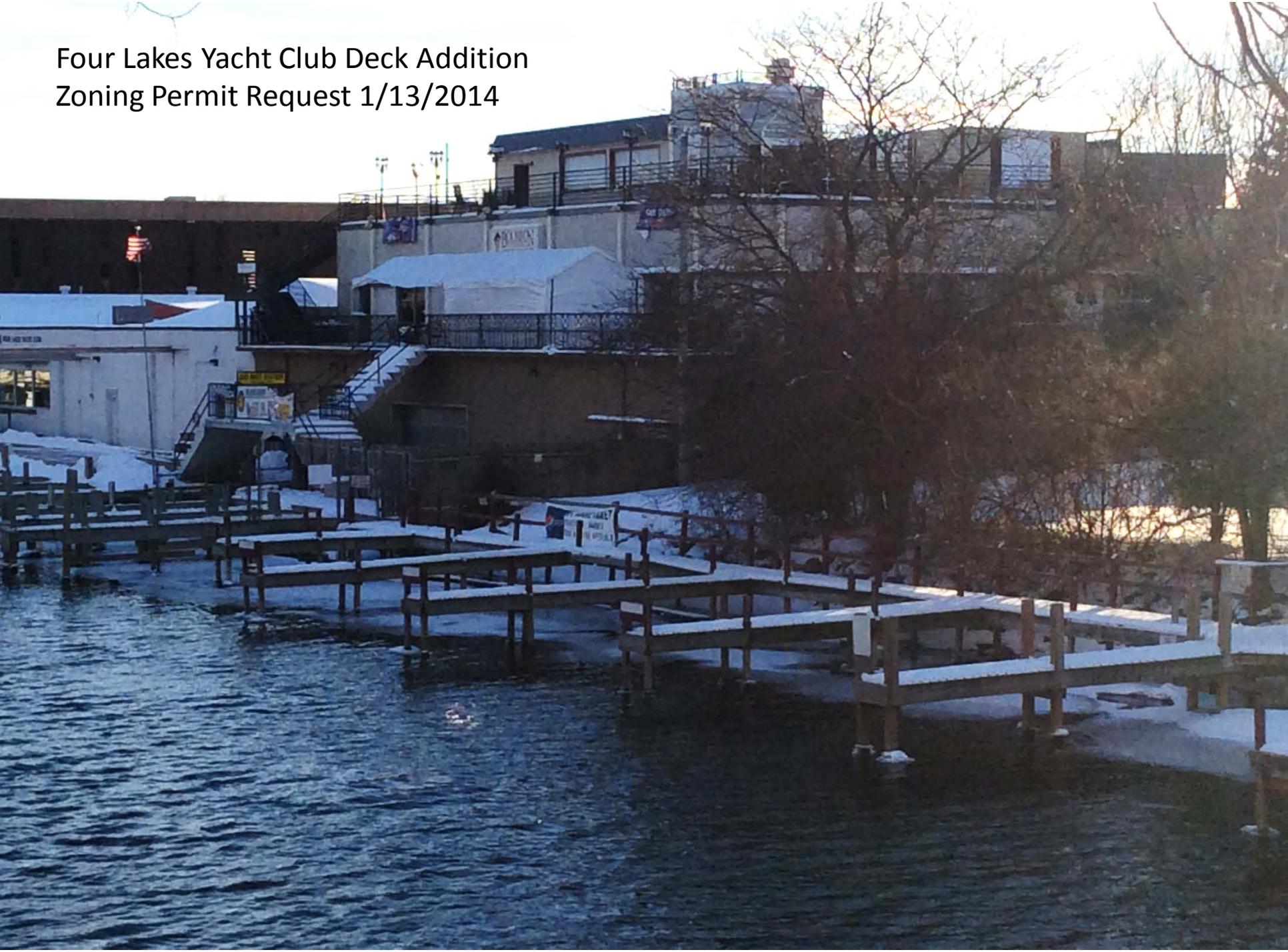


Existing Landscaping at the Four Lakes Yacht Club and MMSD Property 6312 and 6300 Metropolitan Lane



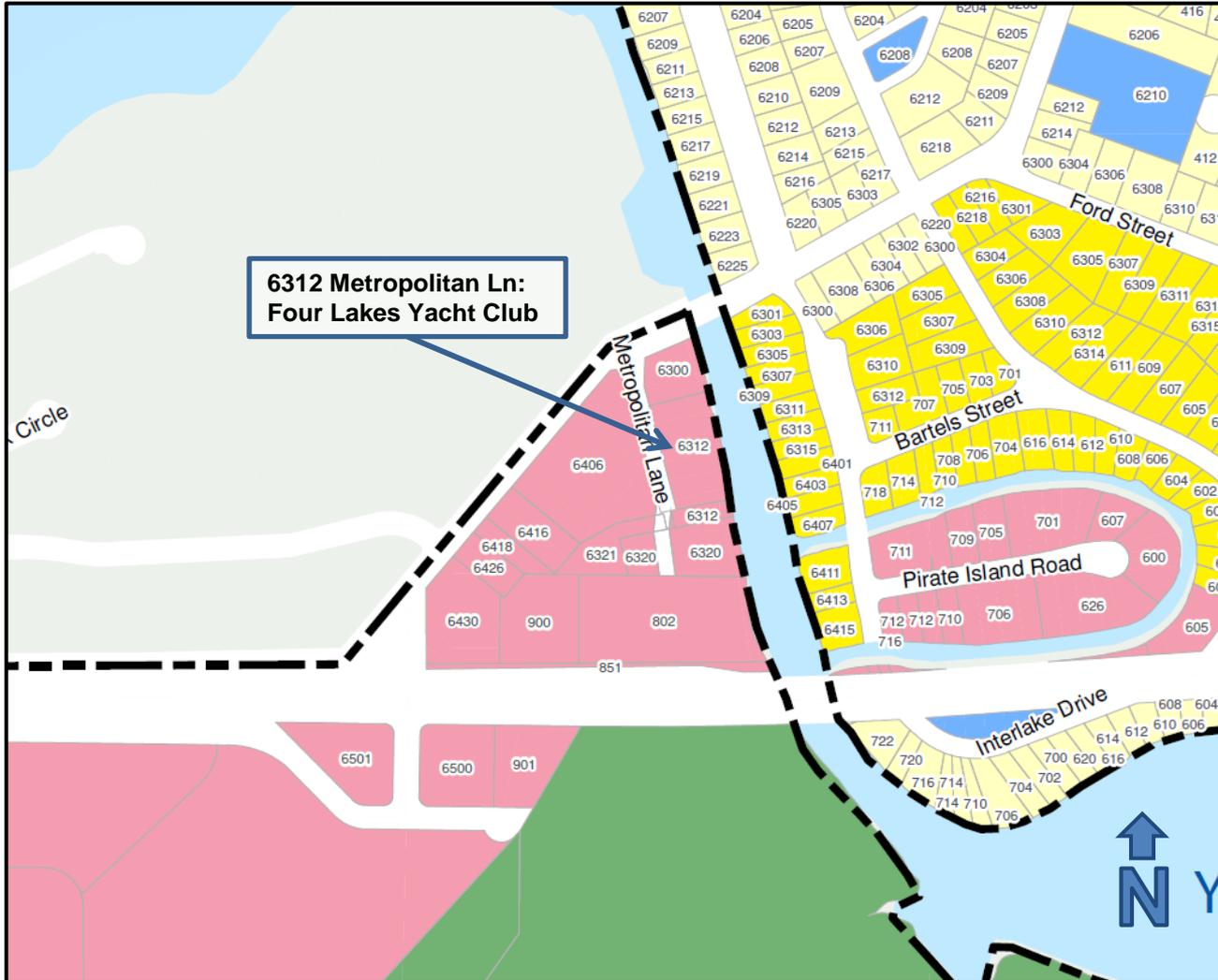
January 23, 2014

Four Lakes Yacht Club Deck Addition
Zoning Permit Request 1/13/2014





6312 Metropolitan Lane: Four Lakes Yacht Club Deck Addition Zoning Map



6312 Metropolitan Ln:
Four Lakes Yacht Club

Zoning Districts

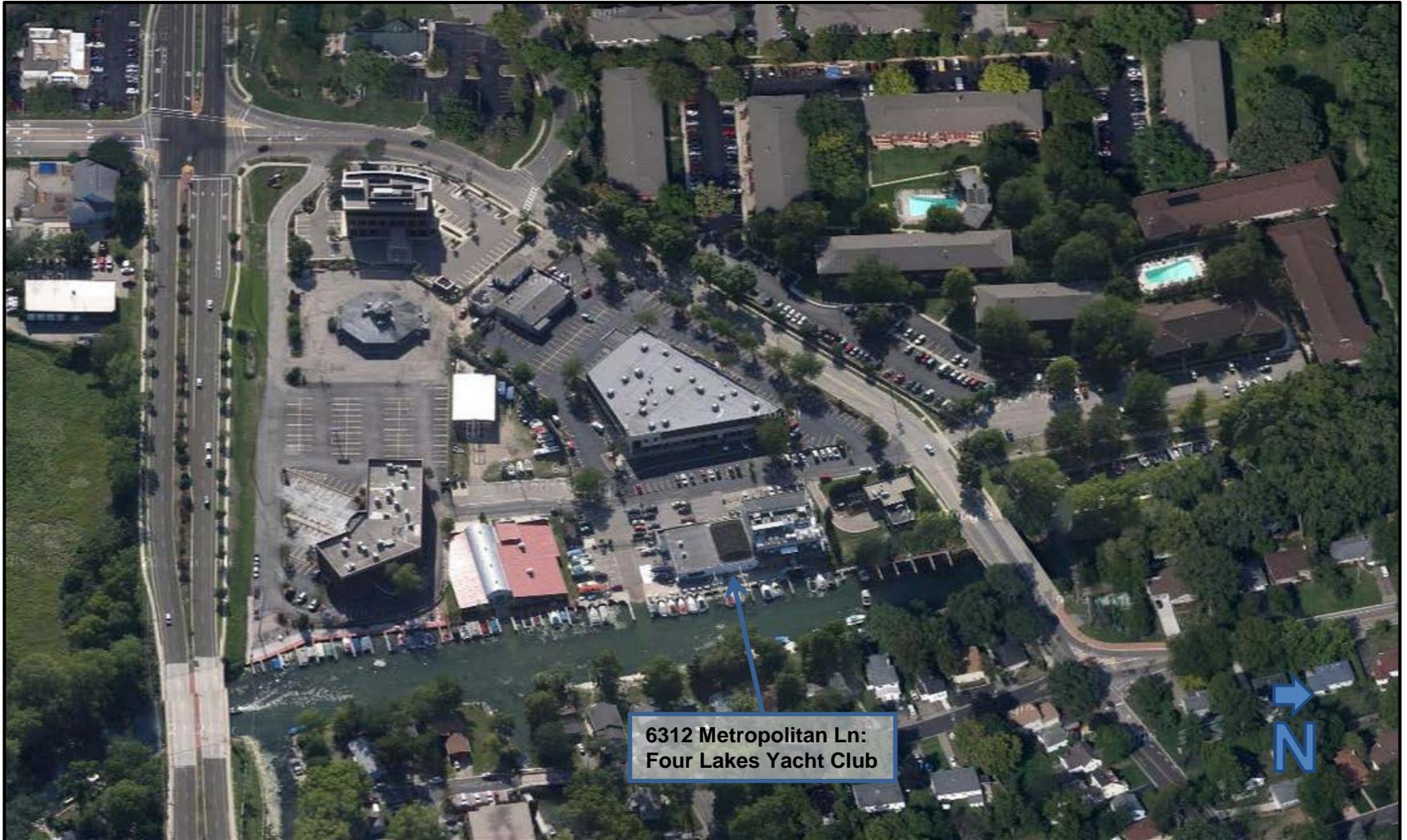
- Commercial / Industrial
- Community Design District
- Cemetery
- Conservancy
- Multi-Family
- Neighborhood Small Business
- Public Facilities
- Retail Business
- Single Family
- Two Family

Zoning: Community Design District

Surrounding Zoning: Community Design District, Single Family, Two Family



6312 Metropolitan Lane: Four Lakes Yacht Club Deck Addition Aerial Photo



6312 Metropolitan Ln:
Four Lakes Yacht Club

Cold Spring Design

December 28, 2013

Zoning/Planning Board
City of Monona

RE: Deck Renovation at 6310 Metropolitan Lane

Planning Board Members;

The attached drawings were prepared to address some necessary renovations/repairs to the existing deck and stairs at the above listed address. The existing deck concrete and rails are not in bad condition but could use some cleaning up and repair to guarantee their longevity. The attached drawings show the extent of the repairs and also two small portions of deck that we would like to add. The existing stair is being replaced and updated only as necessary to meet the current exiting codes. The stair is essentially being replaced in its current location. The two portions of deck that we would like to add are to be placed between the stair and the existing building and would not encroach any closer towards the water.

The new deck would be constructed of composite flooring that resembles wood while the rails would be fabricated from steel or stainless steel cables. The main structural posts and rails will be stained or colored to match the deck board members. The existing concrete slabs and asphalt surfaces under the current stairs are in poor condition and would be removed and replaced with new concrete as part of this work. We would also repair the existing concrete sea wall if it was found to be necessary once it was exposed but we will not be adding or detracting from its size.

The structure shown has been designed to meet all current code requirements both architecturally and structurally.

Sincerely,



Conor Nelan, P.E.
Cold Spring Design, LLC
Principal

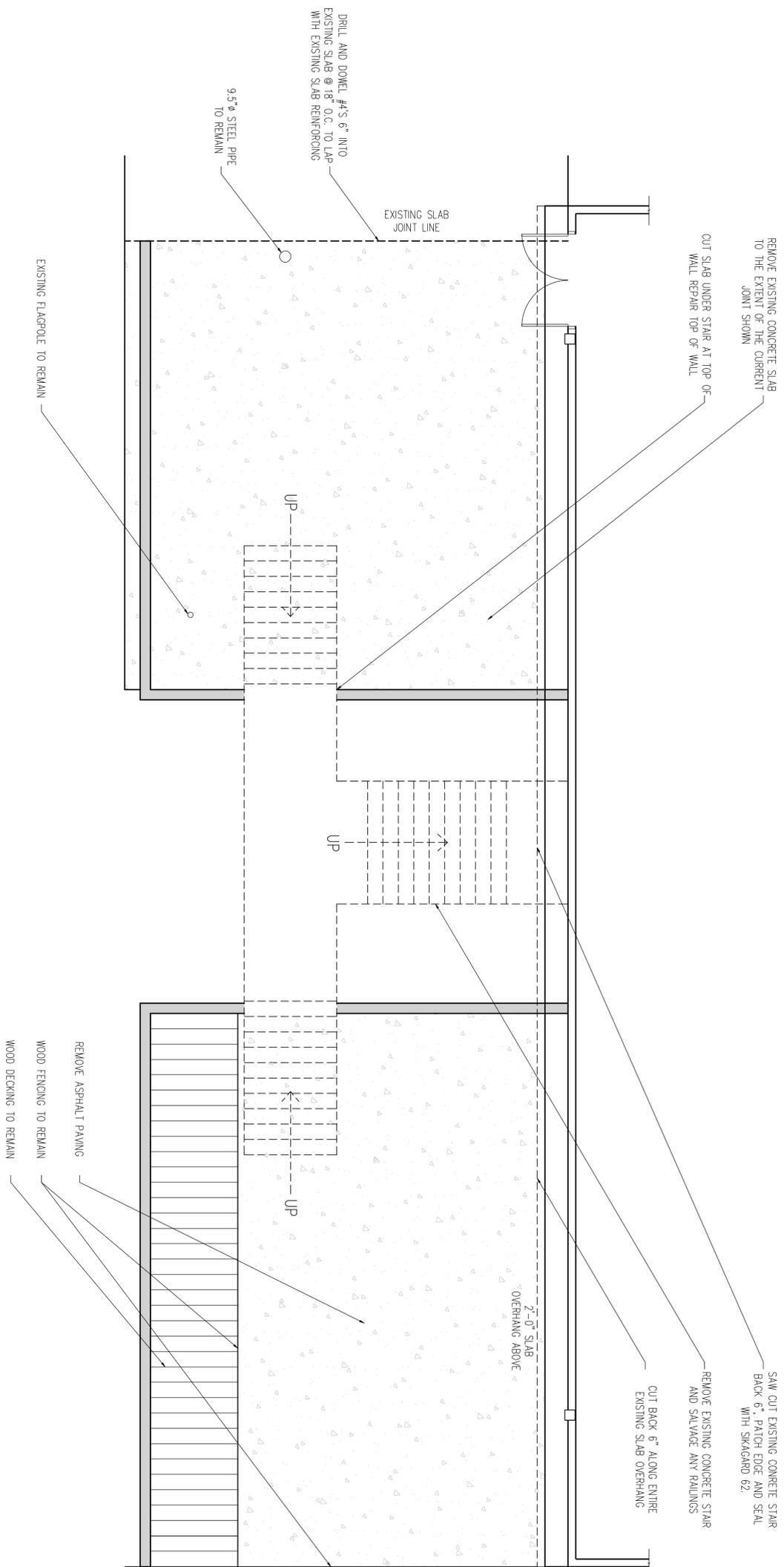
ISSUE	#	DATE	DESCRIPTION

FOUR LAKES YACHT CLUB
 6312 METROPOLITAN LANE - MONONA, WI 53713

CSD PROJECT # 2836A
 SCALE AS NOTED
 DATE 12/23/2015
 DRAWN BY: CFN
 CHECKED BY: CFN

DEMOLITION PLAN

A0.1



1
 S1.0

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



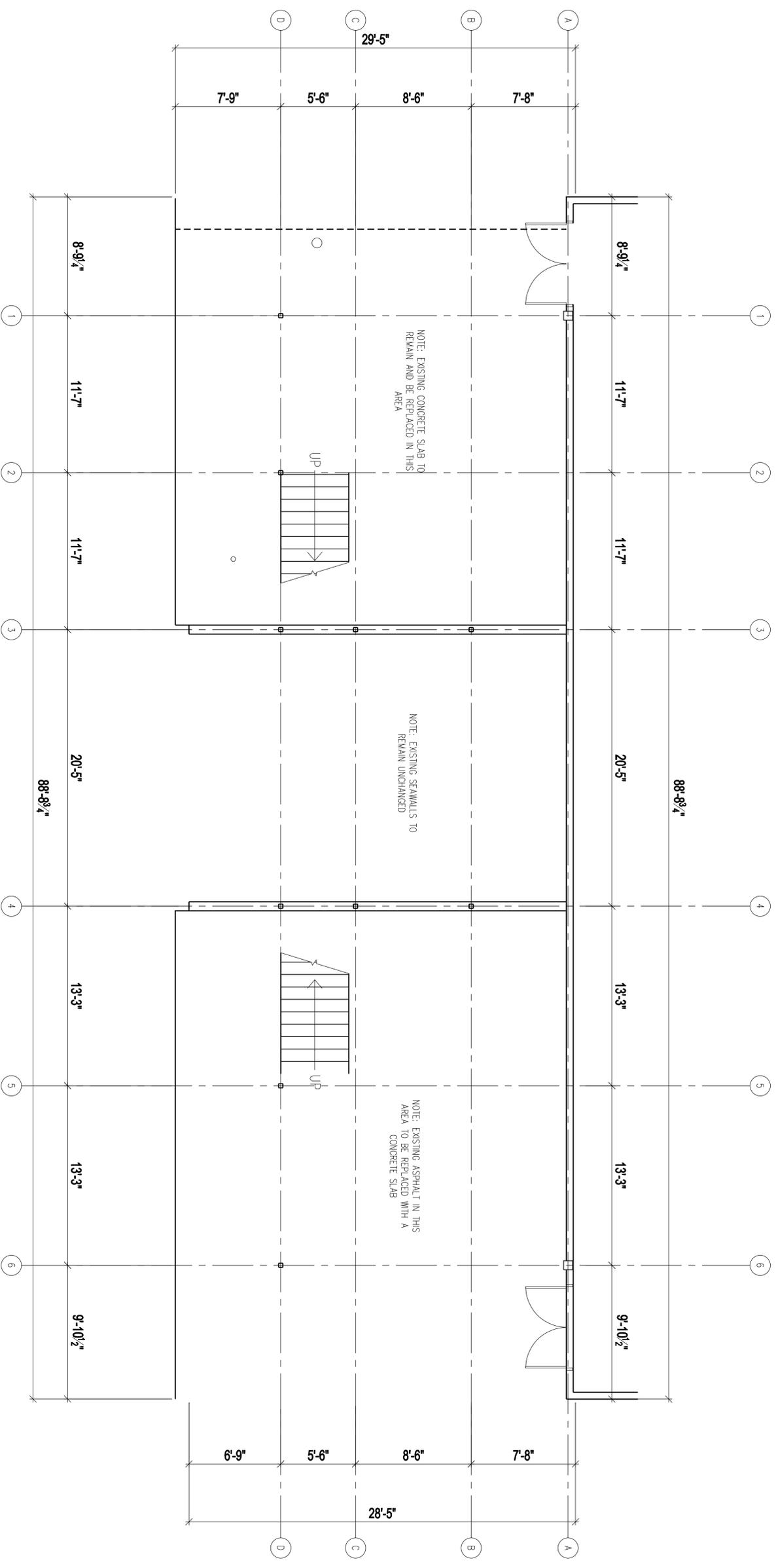
ISSUE	#	DATE	DESCRIPTION

FOUR LAKES YACHT CLUB
 6312 METROPOLITAN LANE - MONONA, WI 53713

CSD PROJECT # 2024A
 SCALE AS NOTED
 DATE 12/23/2015
 DRAWN BY CFN
 CHECKED BY CFN

GROUND LEVEL PLAN

A1.0



1
A1.0
1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



ISSUE

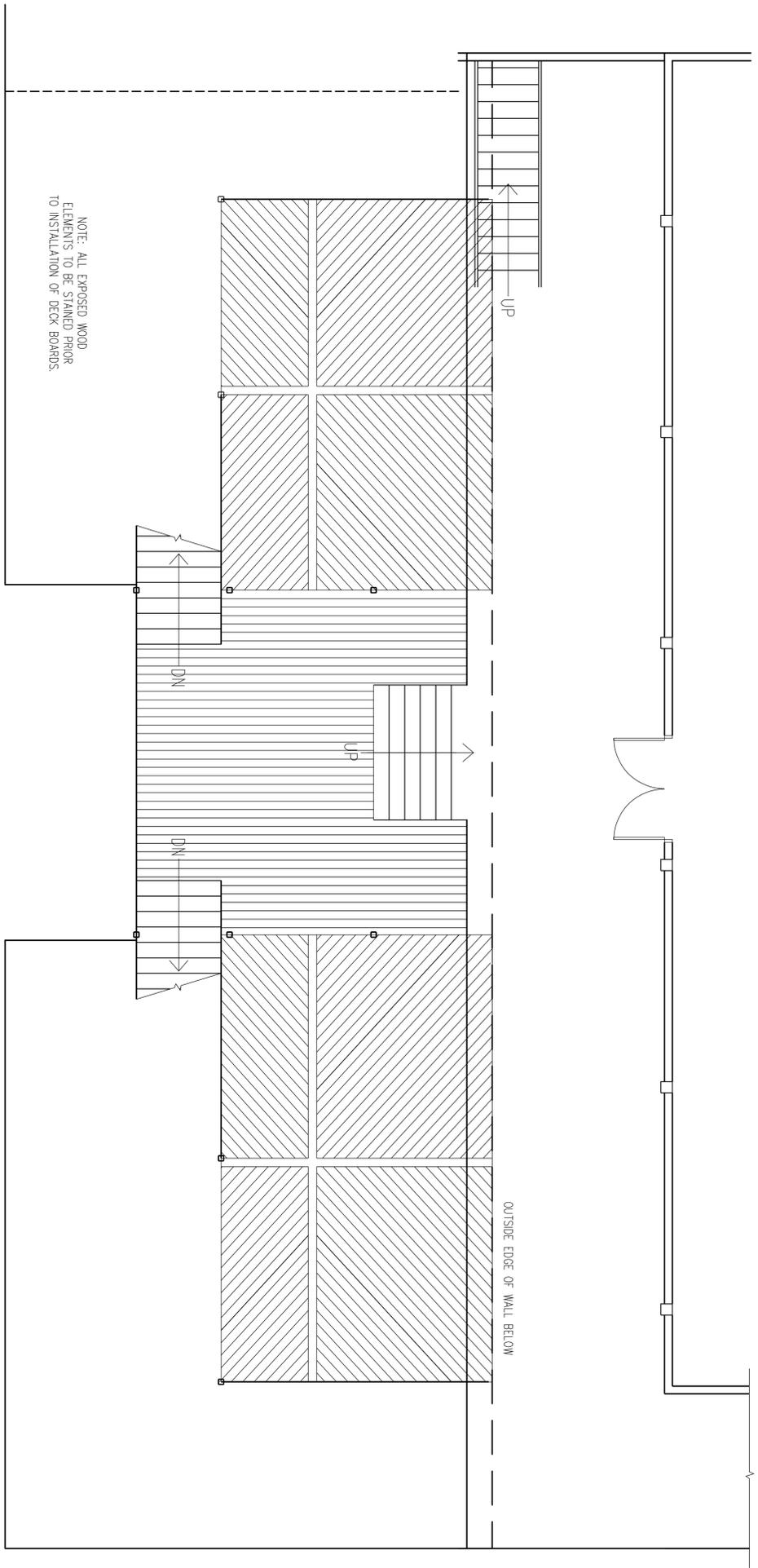
#	DATE	DESCRIPTION

FOUR LAKES YACHT CLUB
 6312 METROPOLITAN LANE - MONONA, WI 53713

CSD PROJECT # 2020A
 SCALE AS NOTED
 DATE 12/23/2015
 DRAWN BY CFN
 CHECKED BY CFN

MID LEVEL
 DECK PLAN

A1.1

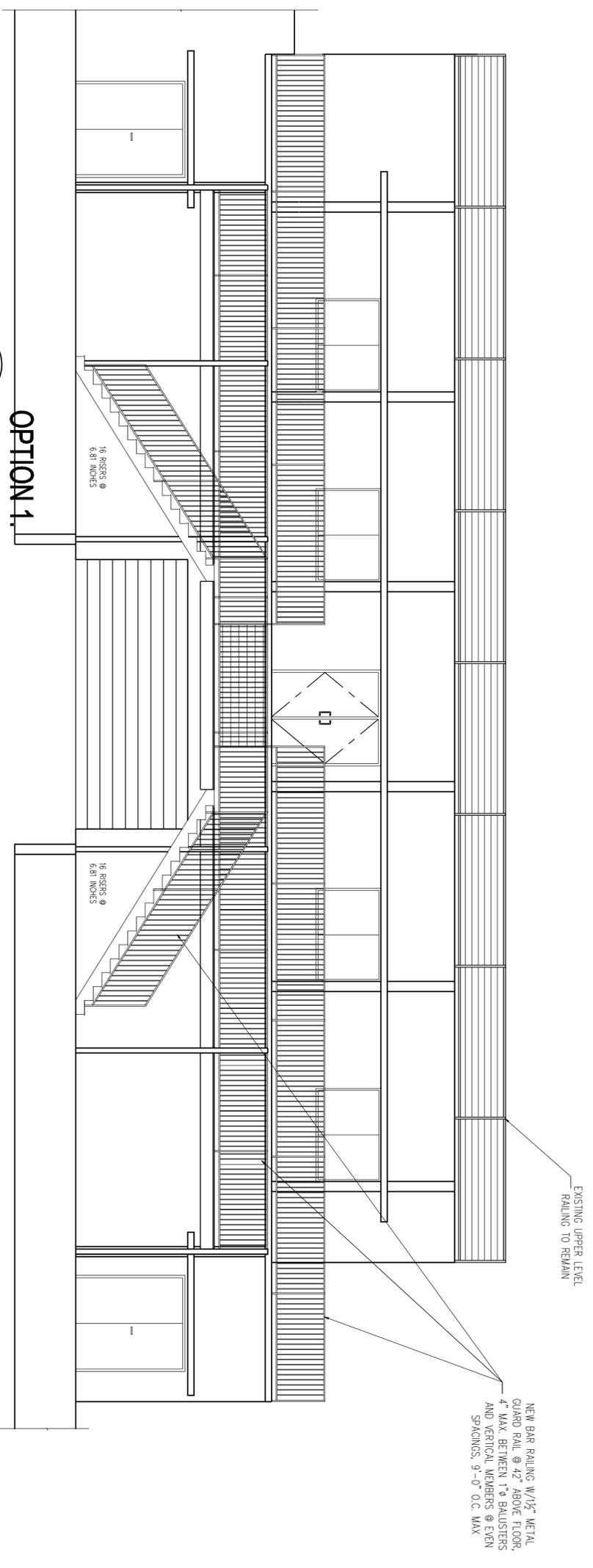


1
 A1.1

2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"





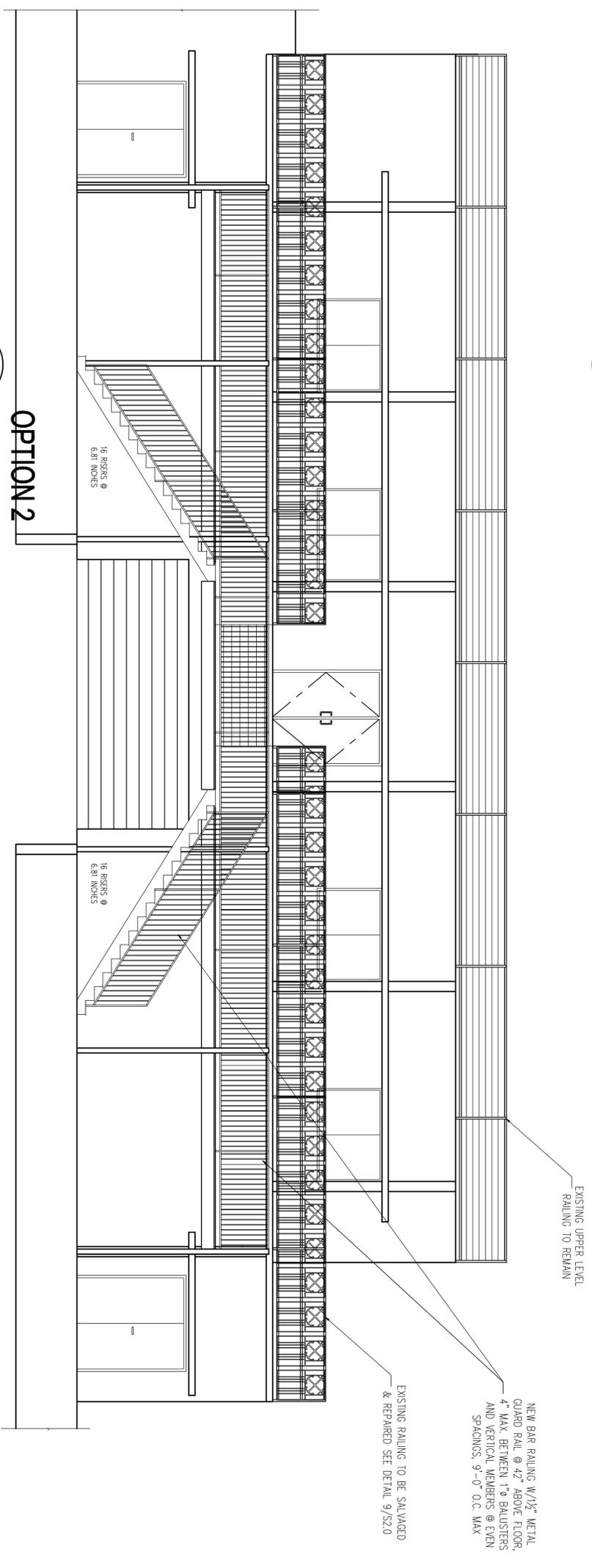
2
A2.0

OPTION 1
EAST ELEVATION W/ ALL NEW RAILINGS

SCALE: 1/4" = 1'-0"



SEE DETAILS 10, 11, 12 AND 13 ON SHEET S2.0 FOR RAILING OPTION 3. ELEVATION TO FOLLOW BY ADDENDUM



1
A2.0

OPTION 2
EAST ELEVATION W/ SALVAGED RAILING

SCALE: 1/4" = 1'-0"



SEE DETAILS 10, 11, 12 AND 13 ON SHEET S2.0 FOR RAILING OPTION 3. ELEVATION TO FOLLOW BY ADDENDUM



223 South Main Street
Fort Atkinson, WI 53538
P: (608)258-9500
F: (608)258-9501

ISSUE	#	DATE	DESCRIPTION

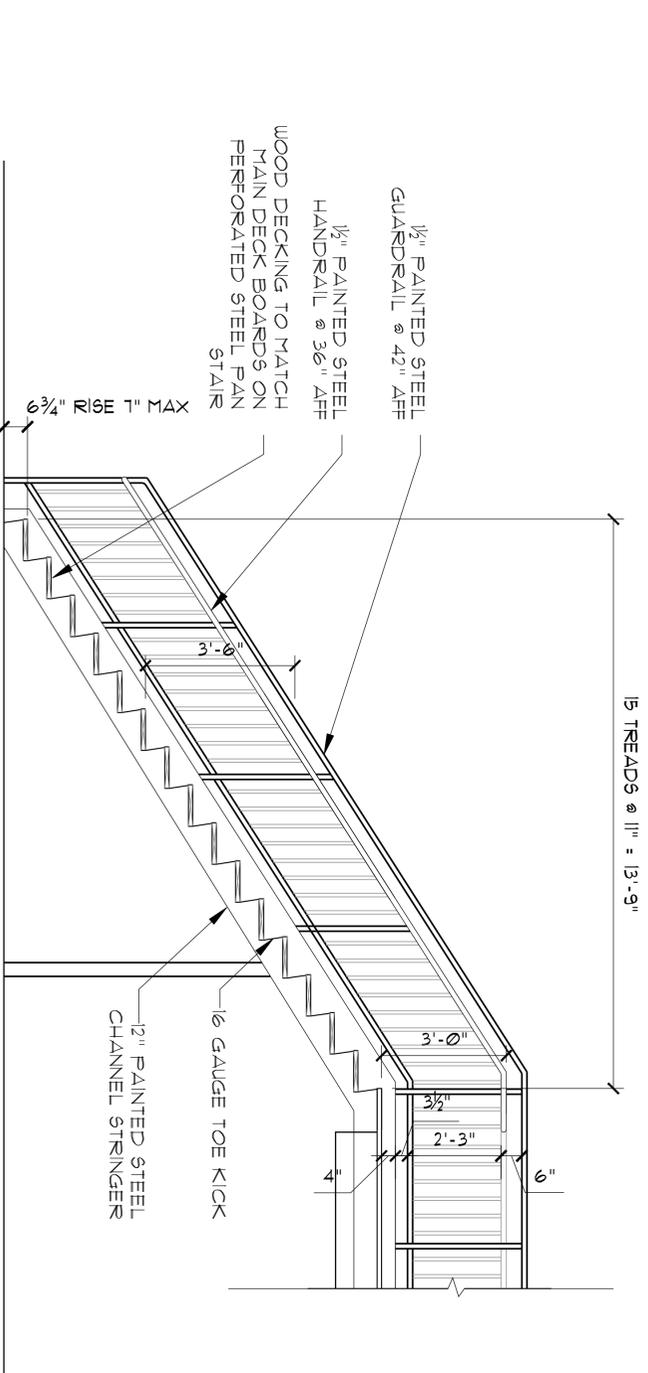
FOUR LAKES YACHT CLUB
6312 METROPOLITAN LANE - MONONA, WI 53713

CD PROJECT # 3080A
SCALE AS NOTED
DATE 12/23/2015
DRAWN BY: CFN
CHECKED BY: CFN

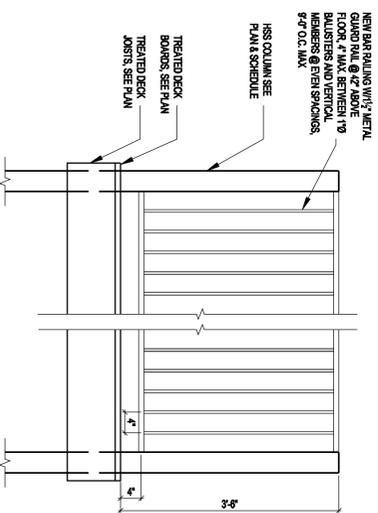
EAST ELEVATION OPTIONS

A2.0

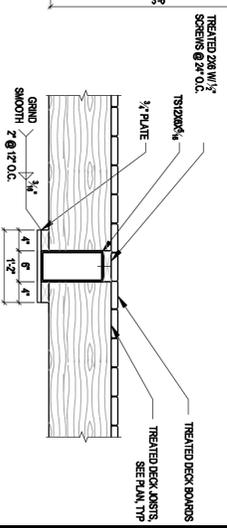
ISSUE	#	DATE	DESCRIPTION



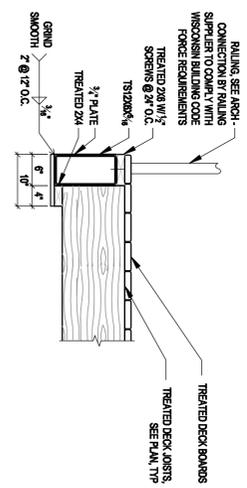
8 RAILING
 STAIR SECTION SHOWING OPTION 1
 SCALE: NTS



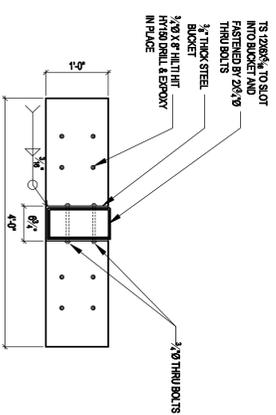
7 RAILING CONNECTION DETAIL
 SCALE: NTS



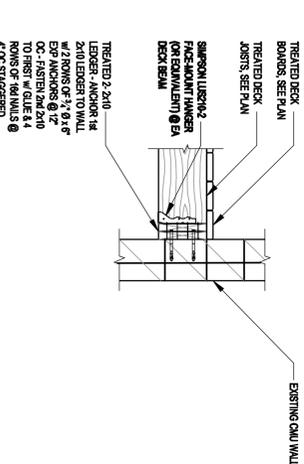
6 BEAM TO DECK CONNECTION DETAIL
 SCALE: NTS



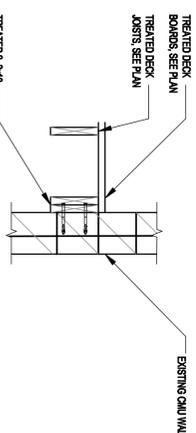
5 BEAM TO DECK CONNECTION DETAIL
 SCALE: NTS



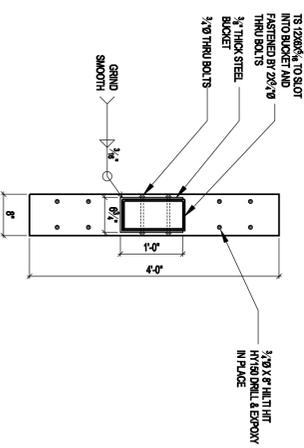
4 BEAM TO EXISTING CMU WALL DETAIL
 SCALE: NTS



3 FRAMING CONNECTION TO LEDGER
 SCALE: NTS



2 DECKING CONNECTION TO LEDGER
 SCALE: NTS



1 BEAM TO EXISTING COLUMN DETAIL
 SCALE: NTS

FOUR LAKES YACHT CLUB
 6312 METROPOLITAN LANE - MONONA, WI 53713

CD PROJECT # 2604
 SCALE: AS NOTED
 DATE: 12/23/2015
 DRAWN BY: CN
 CHECKED BY: CN

STRUCTURAL
 DETAILS

S3.0

