

Plan Commission Meeting Date: July 14, 2014

PLAN COMMISSION (Agenda Item 6.B. and 6.C.)

AGENDA ITEM:

Public Hearing and Prehearing Conference on Request by Monona Parks & Recreation Review of Proposed Improvements to Lottes Park, 400 W Broadway, Including a Restroom Facility and Fish Cleaning Station, Parking Lot Grading and Striping, Boardwalk Extension, and Boat Launch Facilities.

REQUESTED BY:

**Jacob Anderson, Parks & Recreation Director
Doug Pahl, Architect, Aro & Eberle Architects**

Case No.

2-011-2014

PERMIT/POLICY ANALYSIS STATEMENT:

Brief Description of Proposal:

Monona Parks and Recreation is proposing substantial improvements to Lottes including:

- **Extension of the existing Yahara Cove Boardwalk;**
- **Upgraded boat and canoe launch facilities;**
- **Reconfiguration, re-grading, and re-paving of the parking lot;**
- **New handicap accessible fishing pier along the boardwalk;**
- **Boat washing station for invasive species removal; and**
- **a public restroom facility with picnic area and a fish cleaning station.**

Current Policy or Practice

A zoning permit for a new use, substantial addition or alteration, or new construction is required according to Sec. 13-1-180 of the Zoning Code. The property at 400 W Broadway is zoned Public Facilities (P). All uses and structures within this district must receive a zoning permit. Plans submitted are viewed according to the following ordinance sections:

- **Use, Site and Operational Performance standards**
- **Public Facilities Zoning District Performance Standards**
- **Appendix A of the Zoning Code**
- **Chapter 15 – Erosion Control and Stormwater Runoff Control**
- **Broadway Corridor Plan, Monona Comprehensive Plan,**
- **And all other application sections of the Monona Municipal Code of Ordinances.**

Recommendation

No action is recommended at this prehearing conference. The Plan Commission may discuss the following and request additional plans and information:

- **Overall site design, layout, and open space percentage**

- **Boardwalk design including clarification on whether pervious concrete pavement is proposed**
- **Architectural design of park shelter and any operational concerns or comments regarding the fish cleaning station. Also address the Police Chief's comments.**
- **Landscaping requirements**
- **Lighting requirements**
- **Compliance with permits required by other regulatory agencies (Wisconsin Historical Society and Department of Natural Resources)**

Note: This staff review is not meant to be all inclusive of any other comments and recommendations from staff or the Plan Commission. Additional information may still be requested, and recommendations made by City staff, and the Plan Commission.

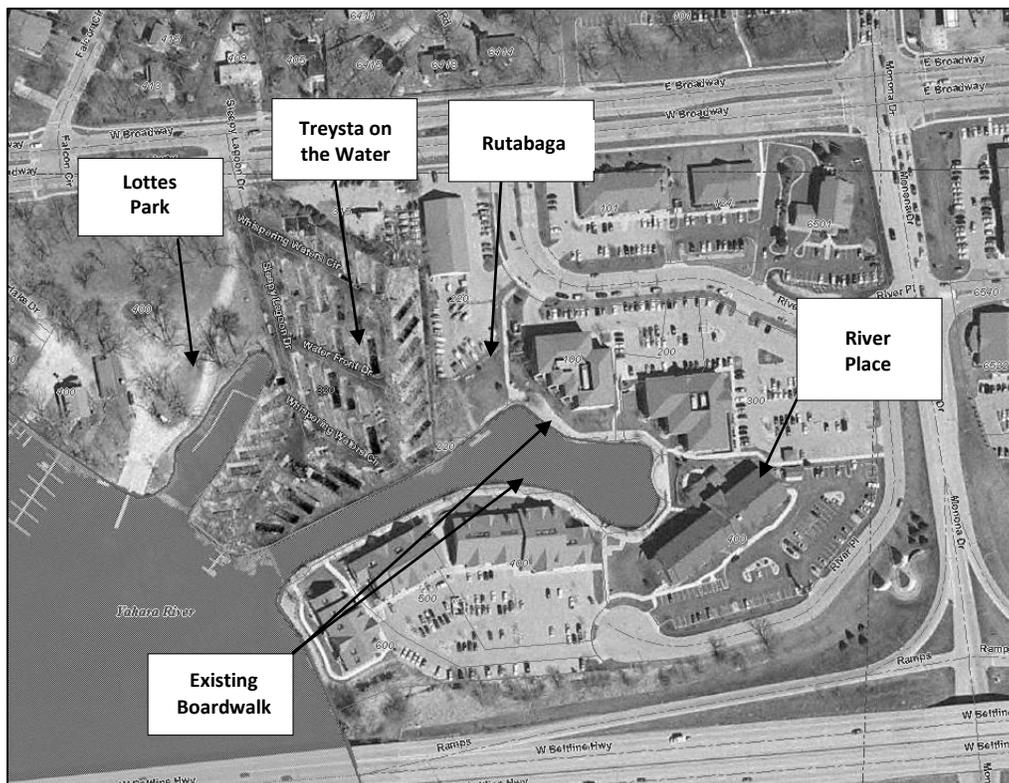
Item 6.B. and 6.C. Public Hearing and Prehearing Conference on Request by Monona Parks & Recreation Review of Proposed Improvements to Lottes Park, 400 W Broadway, Including a Restroom Facility and Fish Cleaning Station, Parking Lot Grading and Striping, Boardwalk Extension, and Boat Launch Facilities.
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Background

Lottes Park is located at 400 W Broadway between the Yahara River and Broadway. This city park is approximately 3.3 acres in size and is a popular Dane County Lake Access Boat Launch location. Current park conditions include a gravel lot with haphazard parking for vehicle and boat trailer parking. A portable toilet is located on the site for park users.

Yahara Cove Boardwalk

Monona's 1989 Broadway Corridor Plan called for development of a pedestrian walkway along this area of the Yahara River. This was the impetus for creation of the 1993 Yahara Waterfront Walkway Plan. A portion of this pedestrian walkway was developed along with the River Place commercial development to the east of Lottes Park. The long range concept plans in both the 1989 and 1993 planning documents show extension of the boardwalk west along the River and connecting to Bridge Road. The existing boardwalk portion is an 8' wide concrete sidewalk with inlaid red-colored concrete accents, picnic tables, blue shepherds crook light fixtures, wooden overlook areas with blue railings, and about 7' between the walkway and the water for rip rap.



Treysta on the Water

Treysta on the Water is a mixed-use development currently under construction on the parcel adjacent to Lottes Park to the east at 320 W Broadway. The approved site plans for this development include a concrete sidewalk, bollard lighting, shepherd's hook lighting, and native shoreline plantings. Per the Developers Agreement between the City and *Treysta on the Water*, the City will make the improvements listed below which will benefit users of both the *Treysta on the Water* development and Lottes Park.

- Improved access between the Treysta site and Lottes Park
- Continuation of the public boardwalk from the current River Walk to Lottes Park.
- Updated dock facility to provide public boat access on the Treysta site. At least 50% of the boat slips are reserved for public use.
- Monona will dredge and improve the shoreline of the storm water outflow between the Treysta site and Lottes Park.

Dane County PARC Grant

In 2013, the Dane County Park Commission awarded a \$150,000 grant to Monona to help fund improvements to Lottes Park from the Partners for Recreation & Conservation (PARC) Program.

Proposal

The City of Monona Parks and Recreation Department is proposing substantial improvements to Lottes Park at 400 W Broadway. Proposed improvements include:

- Extension of the existing Yahara Cove Boardwalk path from the Treysta property to the west edge of Lottes Park;
- Upgrade of boat launch facilities and canoe launch site;
- Reconfiguration and re-grading of the parking lot and replacing the existing gravel parking lot with asphalt paving;
- New handicap accessible fishing pier along the boardwalk;
- Boat washing station for invasive species removal; and
- a public restroom facility with picnic area on the east side and a fish cleaning station on the west side.

Review Process

Sec. 13-1-183 outlines the process for review of zoning permits. This proposal is scheduled for a public hearing and prehearing conference at the Plan Commission meeting July 14, 2014. After receiving feedback from the Plan Commission, revised plans may be submitted for consideration of action on approval of a zoning permit, site plans, and building elevations. The proposal will also be reviewed by the Park and Recreation Board and the Facilities Committee.

Public Hearing

A public hearing is scheduled on the agenda for 7/14/14 to allow nearby property owners the opportunity to comment on the plans and to notify them of the proposal. A notice was mailed to

surrounding properties on 7/3/14. The Park and Recreation Department also held a public hearing for park users on in May 2014.

Consistency with Zoning Code

A zoning permit for a new use, substantial addition or alteration, or new construction is required according to Sec. 13-1-180 of the Zoning Code. The property at 400 W Broadway is zoned Public Facilities (P). All uses and structures within this district must receive a zoning permit.

Sec. 13-1-88 Public Facilities District

- (a) *Characteristics of District.* This District is characterized by facilities owned by a government or governmental agency, and by public utility facilities, which are compatible with the environment.
- (b) *District Performance Standards.* In addition to the general performance standards, proposed uses in this District shall meet the following standards:
 - (1) To the extent feasible, a substantial portion of the property shall be maintained as landscaped open space.
 - (2) The proposed use shall be related to the general development pattern and the objectives of the Master Plan to promote a balanced local economy, to promote needed goods and services not otherwise available in the immediate area and to protect and enhance the character of the surrounding neighborhood.
 - (3) All uses and structures within this District must receive a zoning permit.

The proposed improvements are consistent with the characteristics of the Public Facilities District. A determination of compliance must also be made according to the *Use, Site, and Operational Performance Standards of the Zoning Code*, and *Appendix A of the Zoning Code*.

Consistency with Planning Documents

Broadway Corridor Plan, 1989

Lottes Park is within the Monona Waterfront District “Zone of Critical Application” of the Broadway Corridor Plan. Architectural and Site Planning standards for this Waterfront District are attached. The Plan states:

The expansion of Ed Lottes Park and its use as a focal point of the Monona Waterfront District is a key element of the plan. The new park would serve several functions. This area provides the potential for enhanced boat launch facilities as well as a site for passive recreation. The expansion and improvement of Lottes Park is viewed as a public project that would link the residential neighborhood to the north and commercial development to the waterfront.

Yahara Cove Walkway Plan, 1993

The Site Planning standards of the Broadway Corridor Plan include specifications for boardwalk design.

Surrounding Land Uses

Surrounding Land	Existing Land Use	Zoning Designation	Future Land Use Plan
North	Residential	TF	Medium Density Residential
South	Yahara River	N/A	N/A
East	Mixed-Use Residential/Retail	CDD	Mixed Use Commercial and/or Residential
West	Single Family Residential	SF and CDD	Mixed Use Commercial and/or Residential

Architectural Design – Shelter Facility

The proposed architectural design for the shelter facility was developed by Aro Eberle Architects. The design matches the prototypes for the recently constructed Fireman’s Park Shelter and the Oneida Park Shelter. This proposed Lottes Park shelter includes:

- Restrooms housed under the main building form and pitched roof.
- An outdoor open space to the east for picnic tables to accommodate 25 persons with room for three 8’ long picnic tables.
- An outdoor open space to the west for a fish cleaning station (an example of this unit is included in the plan submittal).

Building materials include split-face concrete block (two different colors), cedar lap siding, and an asphalt single roof, along with a skylight, and glazed windows. The design is consistent on all four sides. The footprint of the building is 30’x70’ (2,100 SF).

Site Design

Site improvements include parking lot grading and restriping, new boardwalk and sidewalk areas, wetland fill, invasive species wash station and staging area, new concrete boat ramps, a new 30’ boarding dock extension for additional boat parking staging, proposed rain garden basins, a handicap accessible fishing pier, a new canoe launch, and preservation of the archeological features on the north end of the site.

Green Space

The existing and proposed percentage of site impervious and pervious space should be listed on future plans.

Archaeological Features

A significant archaeological site (Native American burial mound) is located within Lottes Park between the proposed shelter location and Broadway. The boundary of this feature is outlined on

the site plan. The applicants have been in contact with Wisconsin Historical Society regarding requirements and any concerns with the proposed site work.

Boardwalk

All of the boardwalk and sidewalk areas are shown on the site plan as new concrete pavement. The boardwalk is 8' wide throughout the property and other sidewalks are 6' wide, as shown on the site plan. The 6/30/14 letter from Architect Doug Pahl, however, states that the boardwalk is a 10' wide path with pervious concrete. The discrepancy between the 8' width and 10' width listed in the letter should be corrected. Additional detail on the pervious concrete material should also be provided.

Parking

The parking area is shown on the site plan as new asphalt. The proposed site plan shows forty-seven (47) numbered parking stalls. Approximately thirty-three (33) stalls are for boat and trailer parking with about fourteen (14) for car parking. The stall dimensions are labeled on the site plan. The 6/30/14 letter from Doug Pahl notes a total of thirty-eight (38) parking stalls. This discrepancy should be corrected on future plans.

Appendix A of the Zoning Code outlines parking requirements. Sec. III(c)(5) *Places of Assembly*, is copied as follows:

Places of assembly, recreation, entertainment and amusement including, but not limited to, bowling alleys, swimming pools, skating rinks, gymnasiums, racquetball and tennis clubs, community centers, and dance halls shall provide parking spaces equivalent to 100% of the maximum capacity of the facility as determined by the state building codes. Adjustments may be granted under the provisions of Section VIII of these Standards where the applicant can demonstrate that a lesser amount of spaces would meet the needs of the facility.

The shelter area can accommodate 25 persons. Twenty-five, or about half of the provided stalls would technically be required to meet the minimum parking standard for the park shelter as noted above, with the remaining stalls available for boat launch/fishing patrons. Many park patrons, however, can be expected to carpool to the site, ride together with families, or walk from adjacent residential areas. Staff does not expect parking availability for shelter patrons to be an issue. A large amount of consideration was given to the maximum amount of boat and trailer parking that could be accommodated on this site.

Vehicle Circulation

Vehicles entering the park will use the shared access with the Treysta development from W Broadway. An easement for shared access to the Treysta site and the Park has been submitted and recorded by the Dane County Register of Deeds. Per Sec. 13-1-61(b) of the Zoning Code, safe and efficient vehicular circulation, parking, and loading shall be assured. Vehicle circulation will be reviewed by the City's consulting engineer.

Erosion Control and Stormwater Management

Stormwater/erosion control plans were not prepared for this prehearing conference, and the applicants should submit plans to the City's consulting engineer for future Commission review.

Erosion Control

A land disturbance of greater than 3,000 SF is shown on the plans, and therefore requires an Erosion Control Permit per Sec. 15-2-7 of the Code.

Stormwater Management

A land disturbance of greater than 3,000 SF meets the definition of "redevelopment" per Sec. 15-2-4(a)(4) of the Code. Therefore, per Sec. 15-2-8(4), a stormwater permit is required, and the plans should include stormwater management measures for the proposed impervious areas meeting the stormwater management performance standards of the Code.

Utilities

Public Works Director Dan Stephany reviewed the plans. His comments state: "No public works or utility concerns. DPW has been in communication with the engineer on this project."

Wisconsin Department of Natural Resources (WDNR)

The Parks and Recreation Department has been in contact with the WDNR regarding any required permits for proposed work on the site and shore.

Landscaping

The proposed site plans do not include a detailed landscaping plan. The site plan shows three crown jewel crabapple located in parking lot islands and shore plug plantings along the lagoon. The existing site currently has many large canopy trees, particularly located around between the proposed shelter and Broadway. The Plan Commission should discuss if additional plantings will be required on the property.

Refuse and Recyclables

The shelter will include standard Park & Recreation trash and recycling containers.

Lighting

Lighting plans were not included with the plan submittal. Applicants should indicate whether new lighting will be proposed on the site or along the boardwalk. The Plan Commission should discuss if lighting will be required. The *Treysta on the Water* development includes pedestrian scale bollard lighting along the boardwalk as well as decorative shepherds hook lighting and LED box fixtures for the parking lot light fixtures. Building lights include LED wall fixtures.

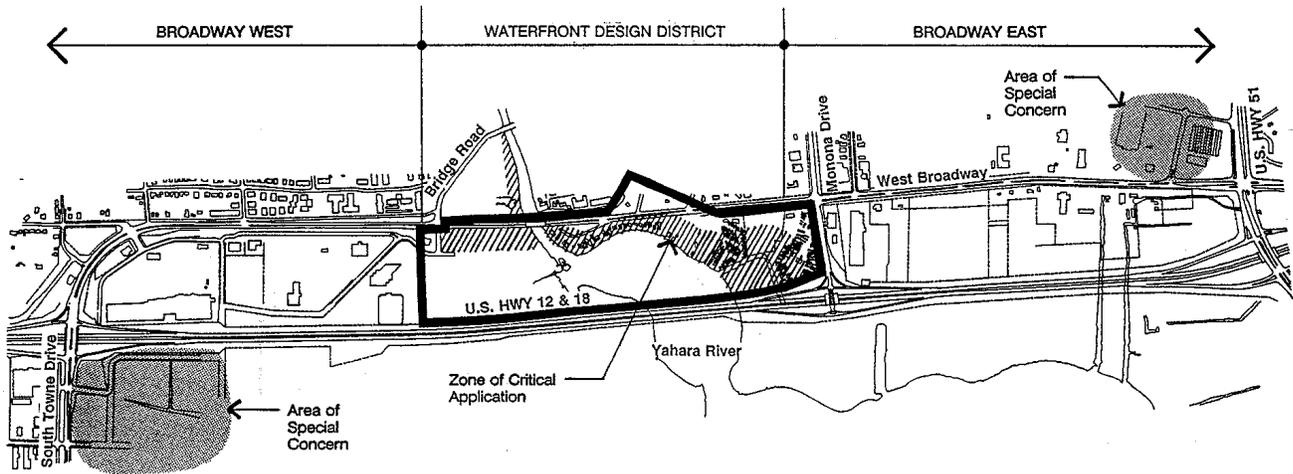
Department Review

Plans were distributed to City Department Heads. Their returned comments are as follows:

- Police Chief Walter Ostrenga: Is the fish cleaner on a timer or in use 24/7? How about the bathroom doors, are they locked up at night?
- Fire Chief Scott Sullivan: Shelter will need to have an alarm system (fire) installed.

ATTACHMENT
Lottes Park - Plan Commission Staff Report
Broadway Corridor Plan Sections

Broadway Corridor Plan



BROADWAY CORRIDOR DESIGN DISTRICTS

**GUIDELINES FOR PRIVATE SECTOR IMPROVEMENTS-
MONONA WATERFRONT DISTRICT**

1. ARCHITECTURE

The intent of the architectural guidelines is to influence building design to adopt the basic principles of the "Shingle Style" of the 1880's, visible in many examples of cottage and resort design along the shores of Lake Monona from this same historic period. The forms should be translated into a contemporary architectural statement that meets current functional needs and possesses the simplicity and strength of the original style.

The following elements are very important to the success of the design district and should be followed in total.

- A. Buildings are to have consistent elevations on all four sides.*
- B. No exposed roof top mechanical equipment will be permitted.*

ATTACHMENT
Lottes Park - Plan Commission Staff Report
Broadway Corridor Plan Sections

C. Roof Form

- Sloping Roofs between 9/12 - 12/12 pitch are desired.
- Minimum slopes to 6/12 may be approved under special circumstances where a steeper pitched roof cannot be accommodated.
- Where possible, large roof surfaces should be articulated to reduce their apparent mass.

D. Roof Material - Cedar Shingles or high grade (ie: Bird Timberline) asphalt shingles with cedar textured appearance are preferred especially within the Zone of Critical Application (see map). In areas outside the Zone of Critical Application, other materials suitable for use on a sloping roof (such as standing seam) may be used by special consent.

E. Roof Color - Resembling weathered gray or cedar or a range of earth tones in browns, grays and green.

F. Siding Materials - Brick, stone, cedar shingle, 4-8" planed redwood clapboards (with corner boards), tongue and groove planed redwood vertical siding. In areas outside the Zone of

Critical Application other materials may be approved by special consent.

G. Siding Color - Preferred alternative is wood left to weather. Also considered will be other materials in a range of earth tone browns and grays.

The following elements are suggested optimal features to reinforce the selected style. Buildings should be planned with a minimum of two of the four features listed.

H. Bay Windows and other facade projections should be considered. This would include staggering the exterior building envelope.

I. Roof dormers add to picturesque quality.

J. Small paned glass (divided lights) in window construction.

K. Porches and arcades should be constructed along building faces and to connect free standing buildings as much as possible.

2. SITE PLANNING STANDARDS

A. Screen trash areas and outdoor ground mounted mechanical and electrical equipment. Screens should be an extension of the building's architectural treatment and consistent in color and design.

B. Screen outdoor storage areas. Screens may be an extension of the architecture, an attractive fence or landscape. Landscape screens may include a combination of plant massing, earth berming and walls.

C. Parking will be limited to side yards and Broadway frontage to limit waterside parking to the greatest extent possible.

D. Every property will provide at least one common access extending from its parking to the public use waterfront boardwalk. This access shall be a minimum of 10' wide, landscaped with lighting and furniture to match the public improvement standard in the preceding section.

F. Provide for snow storage or removal in all parking areas.

G. Utilities should be underground from ROW to building. Exposed conduit and boxes should be painted to match the building color.

H. A minimum of 15% of the area between the main building face and the property line should be of a permeable, landscaped surface. If building has two faces, this applies to both.

I. Landscape areas should generally consist of a combination of trees, shrubs and groundcovers.

J. Use landscape areas for transition and integration between pad sites and surrounding land uses.

K. Preserve existing mature trees where possible.

L. Special landscape treatment should be employed to highlight and identify entrances.

M. Landscape areas should be spaced in parking lots to break up the massiveness of the pavement.

3. SIGNAGE

A. Basic criteria of the design standards for Broadway East and West Corridors shall apply. In addition, comply with Sec. 12.177, Monona Municipal Code.

Article C: Use Performance Standards**Sec. 13-1-40 Use Performance Standards – Generally.**

The following use performance standards in this Article shall apply to any construction, or substantial reconstruction, conversion, structural alteration, relocation or enlargement of any structure or building, and to any use or substantial change in the use of any land, water, structure or building.

Sec. 13-1-41 General Use Performance Standards.

- (a) The proposed use shall not adversely affect the character or quality of the district or neighborhood and shall not be detrimental to the health, safety, comfort or general welfare of the residents and workers in the general neighborhood.
- (b) The proposed use shall not impede the normal and orderly development and improvement of the area with uses permitted in the district. The proposed use shall not cause substantial detriment to the public good or substantially impair the intent and purpose of this Code or the Master Plan.
- (c) The proposed use shall promote economical and efficient land use, an improved level of amenities, creative design and a better environment.
- (d) The proposed use shall not substantially impair or diminish the development, use, value, character or enjoyment of other property in the neighborhood for uses already permitted.
- (e) The proposed use shall not be adversely affected by existing uses in the area.
- (f) The proposed use is reasonable in terms of logical, efficient and economical provision of public services and facilities provided by the City, school district and other units of government.
- (g) The proposed use is appropriate to the immediate neighborhood.
- (h) The proposed use is of an appropriate size, located and laid out with respect to access streets so that vehicular, bicycle and pedestrian traffic to and from the use shall not create undue congestion or hazards which would be detrimental to the character of the general neighborhood.
- (i) The proposed use shall be subject to conditions imposed by the Plan Commission with respect to the minimizing of traffic congestion by providing appropriate entrances and exits so as to assure the public safety, and by providing landscaping located to screen the premises from any residential use or district.
- (j) The proposed use shall not create or add to hazards to persons or property, on-site or off-site, including danger of flooding, erosion, subsidence, or slipping of the soil, or other dangers, annoyances or inconveniences. The use or development shall not create environmental damage, which will affect any other property. Conditions of soil, ground water level, drainage and topography shall be appropriate to both the kind and pattern of use intended.
- (k) The proposed use shall be subject to such conditions and safeguards as may be imposed by the Plan Commission to preserve and protect the intent and purpose of this Code and the Master Plan.
- (l) The proposed use shall produce an attractive environment of sustained aesthetic and ecological desirability, economic stability and functional practicality compatible with the general policy guidelines of the comprehensive Master Plan.
- (m) Where feasible and appropriate, the proposed use shall contribute towards serving regional and community needs for employment, services, open space, moderate-cost housing, lake access and/or recreational facilities.

Sec. 13-1-42 Operational Use Performance Standards

(This section was revised per Ordinance 1-13-641, adopted April 1, 2013.)

The intent of this Section is to set operational standards for uses in the zoning districts. No use shall be permitted except in compliance with the standards established or amended by the Department of Natural

Resources for air pollution, liquid or solid wastes, malodorous emissions and with the following City standards:

- (a) **Noise.** No use shall regularly emit noise beyond the premises of the source in excess of sixty-five (65) decibels between 7:00 a.m. and 9:00 p.m. and fifty-five (55) decibels between 9:00 p.m. and 7:00 a.m. in any octave band of frequency above three hundred (300) cycles per second as measured by a standard sound level meter. Noise shall be so muffled or otherwise controlled as not to become objectionable, due to intermittence, duration, beat, frequency, impulse character, periodic character or shrillness. Sirens, whistles, bells, etc., which are maintained and utilized solely to serve the public purpose are excluded from this regulation.
- (b) **Vibration.** No use shall cause vibration, which is discernible to human feeling beyond the premises of the source.
- (c) **Glare and Heat.** No use shall emit glare or heat which is visible or measurable beyond the premises of the source.
- (d) **Electrical Disturbance.** No use shall emit any electrical disturbance, which adversely affects the use of any other premises.
- (e) **Fire and Explosion Hazards.** All uses involving the manufacturing, utilization, processing or storage of flammable or explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion, as determined by the Fire Chief.
- (f) **Outside Storage.** All materials, equipment, and receptacles and containers for refuse and recyclables shall be stored within a building or be fully screened so as not to be visible from adjoining properties, except for clotheslines, and construction and landscaping materials and equipment currently being used, or intended for use within a period of twelve (12) months, on the premises. No exterior storage shall be permitted which has a depreciating effect on nearby property values, impairs scenic views, constitutes a threat to living amenities or which is a hazard to public health, safety or morals.
- (g) **Screening of HVAC and Mechanicals.** All building and site heating, ventilating and air conditioning (HVAC) and other mechanical equipment shall be screened from view with materials and landscaping complimentary and harmonious to the building and site.

Sec. 13-1-43 Home Occupations

- (a) Any occupation may be conducted and permitted in a residence if it complies with this Section and all other applicable codes.
- (b) A home occupation shall not be conducted or permitted in a manner which detracts from the residential character of the neighborhood or which tends to create a business atmosphere in the neighborhood. A home occupation shall not be conducted or permitted in a manner, which causes the premises to differ substantially from nearby residential uses by the use of colors, materials, construction, lighting or signs; by the emission of sound, noise or vibration; or in any other way, which would be noticeable to a causal observer. A home occupation shall not be conducted or permitted unless it is clearly incidental and secondary to the principal use of the dwelling purposes. The exterior appearance of a residential structure shall not be altered to conduct a home occupation. A home occupation shall not generate traffic, parking, commercial traffic, parking of commercial vehicles, sound, noise, vibration, glare, fumes, odors, electrical interference or nuisances beyond what is customarily and ordinarily found in a residential area, or which detracts from the residential character of the neighborhood. An accessory building may be used for a home occupation, but no area outside a building shall be used for storage or other purpose in the conduct of a home occupation.

Sec. 13-1-44 Garage Sales

- (a) Garage sales, yard sales and similar merchandise sales may be held no more than two (2) times per year at any residence, and for a total of not more than six (6) days in that year. The Zoning Administrator may authorize additional sales and/or sale days if warranted by unusual circumstances. All goods offered for sale shall be household goods or personal possessions from the residence where

Article D: Site Performance Standards**Sec. 13-1-60 Site Performance Standards – Generally.**

The following site performance standards in this Article shall apply to any construction, reconstruction, conversion, structural alteration, relocation or enlargement of any structure or building.

Sec. 13-1-61 General Site Performance Standards.

- (a) To the extent reasonably possible, the existing natural character of the site shall be preserved.
- (b) Safe and efficient vehicular and pedestrian circulation, parking and loading shall be assured.
- (c) Traffic flow to and from the site shall not cause undue congestion of the public street or streets; the number, size and location of off-street parking spaces shall be in conformity with this Code. The Monona Drive Access Management Guidelines, adopted as part of this Code, shall be used as standards in determining the number, size, location and design of driveway openings on a site.
- (d) The site shall be screened, landscaped and structures located in accordance with the following standards:
 - (1) The landscape of the site shall be improved in character with neighboring properties. All areas not covered by structures, driveways, walks or other permitted coverage shall be planted and maintained in lawn, ground cover, trees, shrubs or other appropriate plant materials, and all parking, utility, loading, service and recreation areas shall be reasonably screened. The City of Monona Site Design Standards for Parking, Landscaping and Lighting, adopted as part of this Code, shall be used as standards in determining the required type, size and quantity of landscape plantings required on site.
 - (2) The arrangements of buildings on the site shall create a harmonious appearance with respect to each other and with existing buildings in the immediate neighborhood. Due consideration shall be given to topographic conditions, the spatial relationship between buildings both on and off the site and the effect that the plans, if developed, would have on surrounding properties.
 - (3) The design of buildings and structures and the kind of building materials shall provide a harmonious relationship of color and/or texture between the buildings and structures. All accessory buildings shall bear a close relationship to the principal structure or structures in their design and building materials.
- (e) Exterior lighting needed for safety reasons shall be provided in addition to any requirements for street lighting. The Site Design Standards for Parking, Landscaping and Lighting, adopted as part of this Code, shall be used as standards in determining exterior lighting requirements for a building and site.
- (f) The layout or arrangement of a subdivision or land development shall be consistent with the requirements of this Code.
- (g) All lots shall abut upon a public street. All principal buildings and structures shall be located on a lot. Except for Planned Community Developments, and Commercial/Industrial, Community Design and Retail Business Districts, only one (1) principal building or structure shall be located, erected, or moved onto a lot.
- (h) Streets in a subdivision or land development shall be of sufficient width and suitable grade and shall be suitably located to accommodate prospective traffic and to provide access for fire fighting and emergency equipment to buildings.
- (i) Adequate water supply, drainage, shade trees, sewage facilities and other utilities necessary for essential services to residents and occupants shall be provided.
- (j) Land subject to flooding shall be regulated to avoid danger to life or property.
- (k) Soils shall be protected from erosion by wind or water or from excavating or grading.
- (l) The final development plan shall be substantially complied with.
- (m) Off-site water, sewer, drainage and street improvements, which are necessitated by development, shall be provided.

HORIZONTAL ILLUMINANCES FOR PARKING FACILITIES

a. Open Parking Facilities

Level of Activity	<u>General Parking & Pedestrian Area</u>				<u>Vehicle Use Area (driveway)</u>		
	Min. Footcandles on Pavement ¹	Max. Avg. Footcandles on Pavement	Max. Uniformity Ratio ¹ (Avg:Min)	Max. Watts ² /SqFt Lighting load ³	Min. Footcandles on Pavement ¹	Max. Ave. Footcandles on Pavement	Max. Uniformity Ratio ¹ (Ave:Min)
High	0.6 fc	3.75 fc	4:1	.05	.670 fc	2.5 fc	3:1
Med	0.4 fc	2.50 fc	4:1	.04	.330 fc	1.5 fc	3:1
Low	0.2 fc	1.50 fc	4:1	.03	.125 fc	1.0 fc	3:1

b. Covered Parking Facilities

Areas	Minimum Footcandle Average on Pavement	Minimum Footcandles on Pavement	Maximum Average Footcandles on Pavement	Maximum Uniformity Ratio (Avg:Min)	Maximum Watts/Sq. Ft. Lighting Load
General parking & ped. areas	5 fc	1.25 fc	9 fc	4:1	.2
Private Controlled Entry Parking	3 fc	.75 fc	6 fc	4:1	.2

¹Not mandatory within 4 feet of the pavement edge.

²Not mandatory for driveways.

³Watts shall mean lamp wattage and ballast consumption.

VI. Handicapped Parking Requirements.

All handicapped parking shall conform to Americans With Disabilities Act guidelines and Sec. 346.503, Wis. Stats.

VII. Landscaping Standards.

The standards herein are designated to provide flexibility in meeting the landscape requirement. Applicants can establish a landscaping design which most effectively achieves the desired aesthetic results, and is consistent with the need of providing readily accessible and visible parking.

(a) Landscaping Objectives.

- (1) The objectives of the landscape standards are to recognize both the functional importance of parking areas and the public benefits associated with well-designed landscaped areas which: enhance the visual environment, promote public safety, moderate the microclimate and reduce nuisances, such as noise and glare.

(2) The overall intent of the landscape standards is to soften visual and other sensory impacts. This can be achieved through the use of large canopy trees and well-designed clustered plantings as opposed to the requirement of screening the entire perimeter with a hedge or fence. Points standards are to be the minimum requirements on the site, and acceptance of the landscaping plan will also be based on the distribution on landscaping on the site. All sites will generally be required to cover up to thirty percent (30%) of the site in open green space.

(b) **Minimum Canopy Tree and Parking Space Requirements.**

- (1) All off-street vehicular parking areas with more than six (6) vehicles shall provide and maintain one (1) canopy-type tree for each twelve (12) parking spaces, or fraction thereof, over the initial six (6) spaces. Canopy trees shall be located in tree islands, or within ten (10) feet of the periphery of the parking area surface. The preservation of desirable existing trees is encouraged. Existing mature trees which are a minimum of two to two and one-half (2" - 2½") inch caliper and are within the distance requirements may be applied toward the canopy standard. All newly planted canopy trees must also have a minimum of two to two and one-half (2" - 2½") inch caliper.
- (2) Parking spaces must be broken by a tree island at the rate of one (1) tree island for each linear row of twelve (12) parking spaces, for single row configurations, or for each twenty-four (24) parking spaces in double row configuration.

Schedule for Canopy Trees Standards

Number of Stalls	Trees Required
1 to 6	0 trees
7 to 18	1 tree
19 to 30	2 trees
31 to 42	3 trees
43 to 54	4 trees
55 to 66	5 trees
67 to 78	6 trees
79 to 90	7 trees
91 to 102	8 trees
103 to 114	9 trees
Over 114	9 trees plus 1 tree for each 12 spaces Or fraction thereof

(c) **Screening Standards for Parking Areas Near Residentially Zoned Parcels or Streets.**

- (1) In the following situations there shall be a screening barrier for the purpose of obstructing light beams and muffling noise.
 - a. Where an off-street parking area for four (4) or more vehicles abuts within twenty-five (25) feet of an adjoining lot line in a Single-Family Zoning District (SF).
 - b. Where an off-street parking for four (4) or more vehicles is located in a manner where nearby residentially zoning properties would be affected by headlight glare (i.e., directly across a public right-of-way).
- (2) The effective height of the barrier shall be a minimum of three and one-half (3½) feet above the surface of the parking area. Such a barrier may consist of wood or masonry fencing, walls, berming, or the use of plant material. Where plant materials are used for screening, they shall be of suitable size and density to accomplish the screening objective within three (3) years from the time of planting.

(d) **Maximum Landscape Element Standards.**

- (1) All parking areas shall be required to accumulate a minimum number of points. The number of points required is based on the number of parking spaces. Parking areas for four (4) or more vehicles are required to accumulate fifteen (15) points for each space.

Lottes Park Improvements

Project Description

06/30/2014

Project Team

Owner:

City of Monona; Contact: Jake Anderson; janderson@ci.monona.wi.us; 608-222-4167

Architect:

Aro Eberle Architects; Contact: Doug Pahl; pahl@aroeberle.com; 608-204-7464

Civil Engineer:

Vierbicher; Contact: Brad Schultz; bsch@vierbicher.com; 608-768-4814

Structural/MEP Engineer:

KJWW; Contact: Abby Pertzborn; pertzbornaa@kjww.com; 608-221-6705

Proposed Project and Improvements:

The Lottes Park Riverwalk and Boat Launch project will, in conjunction with the approved Treysta project and Rutabaga connection to the east, extend an existing riverwalk and upgrade the boat launch facilities. The existing public riverwalk that was included with the River Place development as the first phase of a larger system envisioned in the City's 1989 Broadway Corridor Plan and the 1993 Monona Yahara River Waterfront Walkway Plan, which was prepared in consultation with the Dane County Parks Department. The expansion of the riverfront path system was reaffirmed in the City's 2004 Comprehensive Plan.

The Lottes Park concept plan includes the following amenities and improvements to Lottes Park:

1. A public restroom facility with picnic area, fish cleaning station and other amenities.
2. Additional benches and picnic tables for park users.
3. Replacing the existing gravel parking area with an asphalt parking lot with capacity for 28 boat trailers and 10 cars.
4. Extension of the riverwalk via a 10 foot wide pervious concrete path from the Treysta property to the west edge of Lottes Park.
5. Stormwater management swales and dredging of the cove to the east of the park to improve park aesthetics and address increased stormwater runoff from the boat launch parking lot.
6. A public pier accessed via the Treysta property. The approved Treysta development agreement allows for a public pier for boat docking to be installed and accessed from the Treysta property.
7. New canoe launch site to improve boat launching effectiveness

8. New handicap accessible fishing pier on the board/river walk.
9. Boat Washing station for prevention of the spread of invasive species

Access improvements to Broadway:

The Lottes Park project will not only improve river access for Monona and surrounding areas, but will also work synergistically with the Treysta development and other businesses along the riverwalk to create a unique destination for boaters, who will be able to park or dock at Lottes and walk to nearby restaurants and businesses via the riverwalk. With the continuing growth of Dane County and limited opportunities to expand recreational access to the Yahara chain of lakes, improvements to existing facilities like Lottes park are the best way to make sure that a robust connection is maintained between important water resources and County residents

Proposed Shelter Building:

The proposed shelter building follows closely to the shelter design prototype developed for Firemen's park completed in 2013. The Oneida park shelter, now under construction, is another example of the shelter prototype.

For Lottes Park, the roof structure is centered over the main form of the building housing the restrooms. This creates two separate outdoor spaces, one for picnicking or other social gatherings, and the other to house a fish cleaning station. The fish cleaning station will be a packaged unit hard piped to water supply and sanitary. An example of such a unit is included with this submittal.

The shelter area will accommodate up to 25 patrons with room for three 8' long picnic tables. The restroom facilities have been upsized from firemen's park by one toilet fixture or urinal in each restroom and one lavatory sink. This is due to the increased traffic loads from concentrated usership on weekends.

Best regards,

A handwritten signature in black ink, appearing to read 'DPahl', written in a stylized, cursive font.

Doug Pahl AIA
Aro Eberle Architects, Inc.

MONSTER INDUSTRIAL™



Fish Cleaning Station

Self Contained, Reliable, Clean

Overview

The Monster Industrial Fish Cleaning Station is the most efficient fish cleaning station available. It turns fish waste into a slurry - easily flushed away. The self-contained unit uses a powerful HYDRO dual-shafted grinder to shred solids, such as fish parts, cans, plates, utensils and fishing lures. This prevents clogging and protects downstream equipment. The Monster Fish Cleaning Station is clean, cost effective and reliable.

The reason our system is reliable is the slow-speed, high-torque power of the 3-HYDRO grinder. Using an energy efficient 5-HP (3.7kW) motor our grinder slices through the toughest fish waste including big salmon heads, large catfish, bass carcasses and lots more.

Improve Your Park or Marina

The Monster Fish Cleaning Station is an excellent way to provide a pleasant park experience for residents and visitors. Fishermen enjoy the ease and convenience of our Fish Cleaning Station. And best of all, long lasting Monster Industrial equipment is reliable, and requires little maintenance. Grind it up, flush it down!



A Fish Cleaning Station ready to grind at a Michigan park.

Features & Benefits

Ease and Flexibility of Installation

- Complete system — pre-plumbed and pre-wired. Install indoors or outdoors. Optional lockable winter cover.

3-HYDRO Shredder

- Dual-shafted grinder reduces solids to small particles to prevent clogging and protect downstream equipment.
- Two powerful banks of cutters grab and shred fish parts, aluminum cans, plastic utensils, weights, line and more.
- Low speed operation results in higher torque and less interrupts. Pull-out stand for easy grinder access.

Spray Wash System

- Two or more easy to reach spray wands. Five programmable swirlspray nozzles. Meets the highest standards of National Sanitation Foundation®.

Cutting Boards

- Stain-resistant, self draining polyethylene UHMW cutting boards are provided on both sides of the table.

Inlet Safety Guard

- Sized for safety and prevention of user access to the grinder.

Automated Control Panel

- Start, stop and timer system accessible from either end of table.
- Jam prevention system: grinder will stop, reverse rotation then resume forward rotation. If the object does not pass through unit, an alarm will illuminate or sound indicating maintenance is required.

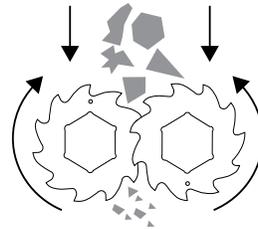
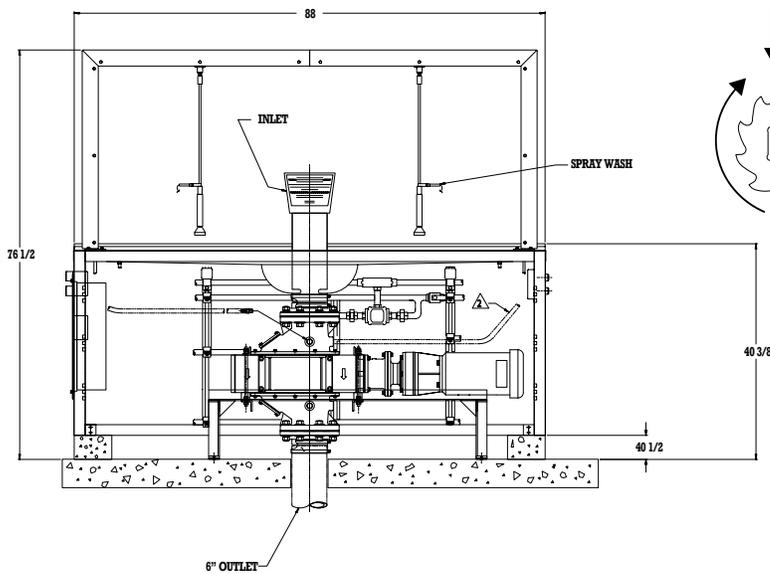


JWC
Environmental®

Trust Monster Quality™



Monster Fish Cleaning Station



Operation

- 1) User presses the 'Start' button and the grinder and spray wash system activate for a pre-programmed length of time
- 2) Wet or dry solids enter the 3-HYDRO dual-shafted grinder via the inlet.
- 3) Solids pass through the cutters and are reduced to a small particle size.
- 4) The ground material is flushed into the local sewer system. Solids pose no threat to downstream pumps.

Materials of Construction

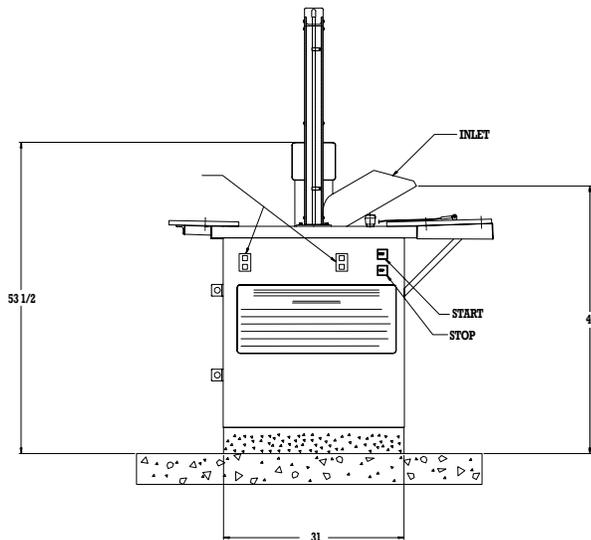
Table: 14-gauge stainless steel.

Grinder Cutters: Heat treated alloy steel, surface ground for uniformity and through-hardened.

Seal Faces: Tungsten carbide / tungsten carbide.

Plumbing Includes: Pressure type vacuum breaker, solenoid actuated water valve and shut-off valve.

Optional Freeze Protection: Heat wrapped copper plumbing and lockable steel winter cover.



Heat Treated Cutters for Durability



Spray Wand Options

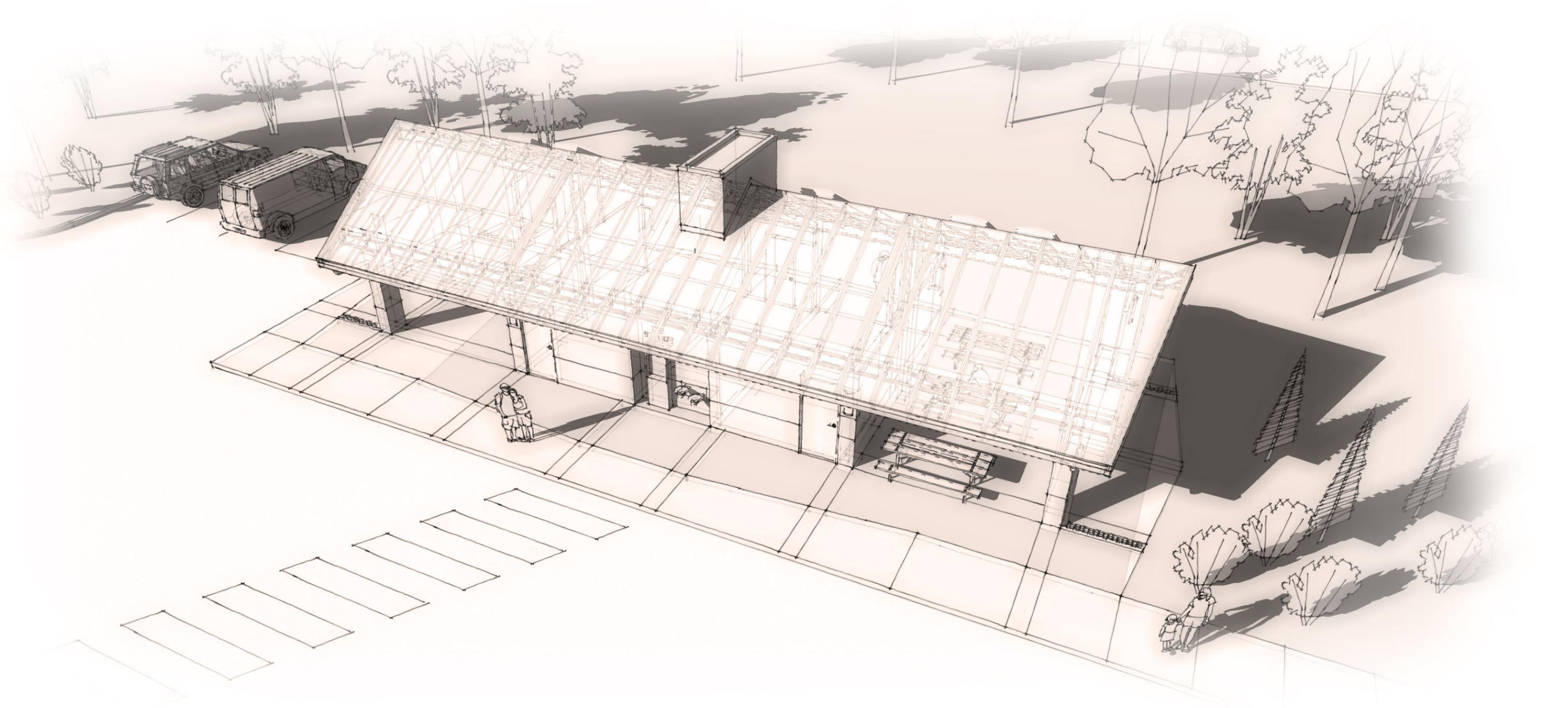
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Phone: (949) 833-3888
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MECHANICAL CHIMNEY

DOWNSPOUT

LED LIGHTING

HOLLOW METAL DOOR

WATER FOUNDATION

FEE STATION

SOUTH ELEVATION



UNIT SKYLIGHT

GLAZING

EAST ELEVATION



SPLIT-FACE CONCRETE BLOCK#1



SPLIT-FACE CONCRETE BLOCK#2



CEDAR LAP SIDING

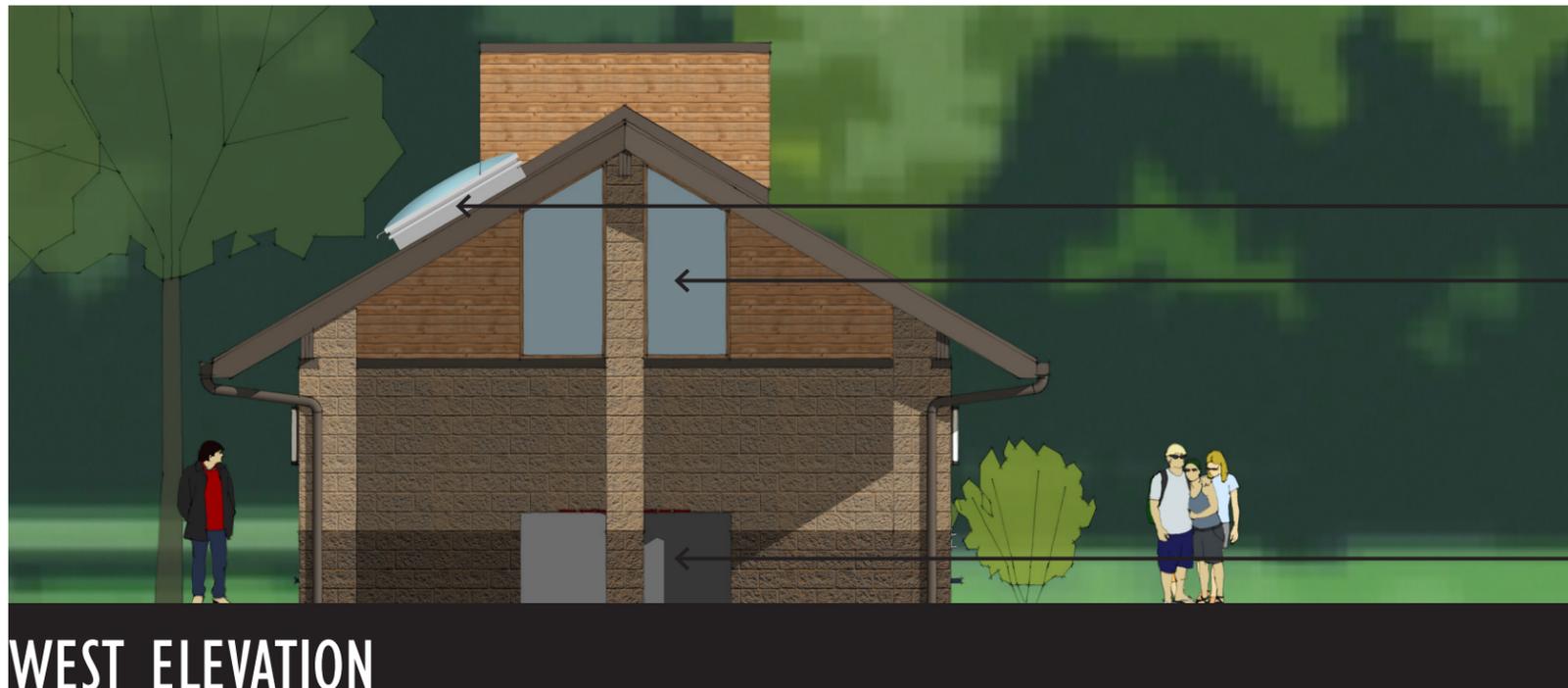


ASPHALT SHINGLE ROOFING



- MECHANICAL CHIMNEY
- UNIT SKYLIGHT
- DOWNSPOUT
- LED LIGHTING
- HOLLOW METAL DOOR

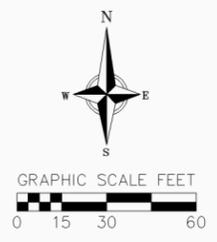
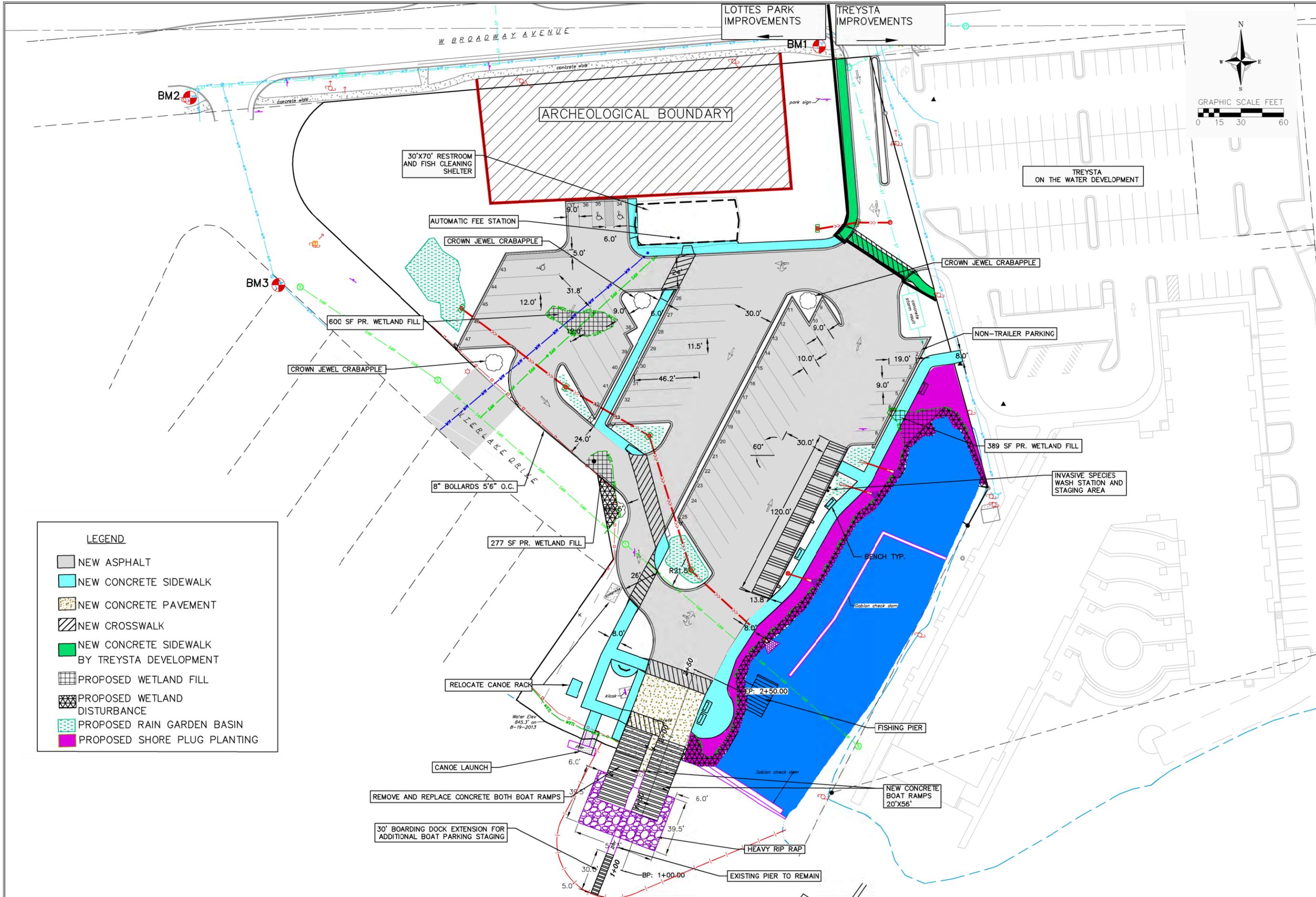
NORTH ELEVATION



- UNIT SKYLIGHT
- GLAZING
- FISH CLEANING MODULE

-  SPLIT-FACE CONCRETE BLOCK#1
-  SPLIT-FACE CONCRETE BLOCK#2
-  CEDAR LAP SIDING
-  ASPHALT SHINGLE ROOFING

WEST ELEVATION



LEGEND

- NEW ASPHALT
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAVEMENT
- NEW CROSSWALK
- NEW CONCRETE SIDEWALK BY TREYSTA DEVELOPMENT
- PROPOSED WETLAND FILL
- PROPOSED WETLAND DISTURBANCE
- PROPOSED RAIN GARDEN BASIN
- PROPOSED SHORE PLUG PLANTING

SITE PLAN
 Lottes Park
 City of Monona
 Dane County, Wisconsin

REVISIONS	
NO.	DATE

SCALE
 1"=30' (22"x34")
 1"=60' (11"x17")

DATE
 6-23-14

DRAFTER
 BSCH

CHECKED
 CMAT

PROJECT NO.
 130152.00

SHEET
 4 OF 13

DWG. NO.

