



Architecture

Planning

Interior Design

11.9.15

Sonja Reichertz
City Planner & Assistant Economic Development Director
City of Monona
5211 Schluter Road
Monona, WI 53716

Project Narrative:

Zingg Design, Inc. is pleased to announce that the Gordon Flesch Company is renovating their existing 2501 Kilgust Road, Monona site facility. This interior remodel will be more cosmetic throughout the office space and resurfacing of their parking lot. The major part will be a smaller but more prominent entry to the east side of the building along with some additional parking stalls to the north. This will require another street side curb cut incorporating a monumental ground sign.

We hope that the city finds these plans sufficient towards approval to move forward with construction yet this year.

Thank you for your consideration

A handwritten signature in black ink that reads 'Mark R. Zingg'.

Mark R. Zingg, AIA and Fadi M. Hayek
Architectural Project Architect and Manager
Zingg Design, Inc.

ZONING PERMIT & PLAN COMMISSION REVIEW APPLICATION FORM

It is the responsibility of the applicant to contact the City Planner at (608)222-2525 or sreichertz@ci.monona.wi.us prior to application submittal to discuss the process. Please note that your application will not be put on the agenda until all materials are received at the City Planning office.

APPLICANT

Name _____
Company _____
Mailing Address _____
Telephone _____
Email _____



APPLICANT WILL BE REPRESENTED BY

The owner's representative (if any) will receive all official correspondence.

Name _____
Company _____
Mailing Address _____
Telephone _____
Email _____

PROPERTY INFORMATION

Property Address _____
Owner Name _____
Owners Address _____
Current Zoning _____
Existing Property Use _____

ZONING PERMIT APPLICATION PROCEDURES

Applications must include:

1. A letter or memo stating your request and reasons why the request should be reviewed and considered for approval. Include a description of items including: the current and proposed business, hours of operation, number of employees, number of anticipated visitors per day, number of parking stalls, how and where deliveries are made, the modifications or additions to be made to the property, etc.
2. Name, address, and phone number of the Owner, Developer, Firm and Individual at that firm who prepared the plans. Owner authorization must be provided for tenants or lessees.
3. Project plans labeled with scale, north arrow, adjacent street names, and dates on which plans were prepared or revised. Text must be readable (min. size 10 font). It is recommended plans be prepared by a professional engineer, architect, etc.

Submittal Process:

1. All materials must be received at the City Planning office before the item is scheduled for a meeting. The petitioner will be asked to submit **10 copies of all plans** with any changes suggested by department heads on 11" x 17" size paper or larger **two weeks prior** to the meeting (date of meeting requested: _____).
2. The applicant is also asked to submit electronic (PDF) copies of plans.
3. The applicable permit fee of \$_____ is due at the time of plan submittal.

Below Space for Office Use:

Date Approved _____
Approved By _____

Permit Number _____
Conditions of Approval (see attached)

CITY OF MONONA: CHECKLIST OF SUBMITTALS FOR PLAN COMMISSION REVIEW

Additional information may be required.

Site Plan: (include 10 copies at a scale of 1"=20' or 1"=40', with all text being readable)

- Indicate property boundaries, existing/new structures, parking, building location with front yard, side yard & rear yard setbacks.
- Location of neighboring buildings.
- Total area of the site, square footage of buildings, square footage or % of paved surface, square footage or % of green space.
- Location of existing & proposed driveways, curb-cuts, sidewalks, loading & delivery areas, fire hydrants, etc.
- Locations of existing and proposed sanity sewer, storm sewer, water mains, proposed or existing easements.
- Parking lot layout indicating size and quantity of spaces, dimensions of drive aisles, handicapped stall locations.
- Location, type, height and materials of existing and proposed fences or walls.
- Location of dumpsters, any outdoor storage areas and a list of items to be stored in that area.

Stormwater Management Plan: (include 10 copies on at a scale of 1"=20' or 1"=40', with all text being readable)

- Existing and proposed grades, contours of the site.
- Direction of water runoff, drainage and the location of stormwater holding areas.
- Site drainage plans and any catch basin locations.
- Erosion control plans and schedules.
- A signed maintenance agreement may be required before final permits are issued.

Building Plans: (include 10 copies at a scale of 1/8"= 1', with all text being readable)

- Building floor plan with dimensions.
- Detailed building elevations of all sides of the proposed building(s).
- Elevations must indicate the type & location of the exterior materials to be used & the proposed color scheme.
- Locate exterior lighting, locations for wall signage, awnings, or other exterior features.
- Indicate location of all HVAC units or other mechanicals and your proposal for screening.
- Present actual samples of materials and colors proposed for all exterior materials to the Plan Commission.

Landscaping Plan: (include 10 copies at a scale of 1"=20' or 1"=40', with all text being readable)

- Indicate size, quantity, type and common name of all existing and proposed trees, shrubbery, perennials, and other landscaping.
- Indicate the use of large scale planters, solutions for foundation plantings, and landscaping for parking islands.
- Describe the screening proposed for outdoor storage areas, parking, etc.
- Include the vision triangle area on plans to show the required lines of sight where driveways meet streets.
- Location of berms, fences with details and materials used, and any non-plant features proposed.
- Indicate exterior seating areas, bicycle racks, etc. along with manufacturer photos, materials and colors used.

Lighting Plan: (include 10 copies at a scale of 1"=20' or 1"=40', with all text being readable)

- Show exterior lighting solutions including locations and the levels of illumination/foot candles to be supplied.
- Include copies of manufacturers' brochures, specs, sizes and colors to show the type of fixtures or poles proposed.
- Show that lighting is designed so level of direction and illumination will not affect existing residential areas, traffic, etc.

Signage Plan & Completed Permit Form: (include 10 copies with all text being readable)

- Indicate location of proposed and existing site and landscape signage on an overall site plan (at 1" = 20' scale) including drive locations.
- Show proposed size & height of signs and signage elements, specific typestyle and all graphic elements to be used.
- Illustrate materials and colors used to fabricate signs.
- Shopping centers/buildings with leased space shall develop a comprehensive signage plan.

Applicant Signature _____

Date _____

GORDON FLESCH

CITY OF MONONA PLAN COMMISSION SUBMITTAL
2501 KILGUST ROAD, MONONA, WI 53713

11/09/2015

WAREHOUSE & DISTRIBUTION CENTER



LOCATION MAP: NORTH

OWNER:
JOHN FLESCH
CONTACT: GORDON FLESCH COMPANY
2675 RESEARCH PARK DRIVE
MADISON, WI 53711
PH: 608-271-2100 x 6235



ARCHITECT OF RECORD:
MARK ZINGG
CONTACT: ZINGG DESIGN, INC.
6603 UNIVERSITY AVE.
MIDDLETON, WI 53562
PH: 608-836-1128
E: MARKZ@ZINGGDESIGN.COM



CIVIL CONTRACTOR:
HOMBURG CONTRACTORS INC.
CONTACT: CHRIS HOMBURG
5500 MONONA DRIVE
MONONA, WI 53716
PH: 608-222-6597



GENERAL CONTRACTOR:
J.H. FINDERFF & SON INC.
CONTACT: CHAD ESCHLER
300 S. BEDFORD ST.
MADISON, WI 53703
PH: 608-441-1680
E: CESCHLER@FINDERFF.COM



ELECTRICAL CONTRACTOR:
SCHULTZ ELECTRIC
CONTACT: JERRY SCHULTZ
8491 MURPHY DRIVE
MIDDLETON, WI 53562
PH: 608-836-7072



LANDSCAPE CONTRACTOR:
THE BRUCE COMPANY
CONTACT: STEVE SHORT
2830 PARKER STREET
MIDDLETON, WI 53562
PH: 608-836-7041



INDEX OF DRAWINGS		CITY OF MONONA PC SUBMITTAL		ISSUE DATE		SHEET NO.		SHEET TITLE		ISSUE DATE		ABBREVIATIONS		PROJECT DATA								
SHEET NO.	SHEET TITLE	ISSUE DATE	CITY OF MONONA PC SUBMITTAL	ISSUE DATE	SHEET NO.	SHEET TITLE	ISSUE DATE	SHEET TITLE	ISSUE DATE	ISSUE DATE	ISSUE DATE	ISSUE DATE	AC	AIR CONDITIONING	H.C.	HOLLOW CORE	SCWD	SOLID CORE WOOD	PROJECT LOCATION: 2501 KILGUST ROAD, MONONA, WI 53713			
	TITLE SHEET PROJECT DATA INFO												ACFL	ACCESS FLOOR	H.M.	HOLLOW METAL	S.S.T.	STAINLESS STEEL	PROJECT DESCRIPTION: RENOVATION OF DISTRIBUTION AND TRAINING CENTER			
C0.0	EXISTING SITE AND DEMOLITION PLAN												ACT	ACOUSTICAL CEILING TILE	H.P.	HIGH POINT	SHT.	SHEET	HOURS OF OPERATION ARE: MONDAYS-FRIDAYS: SATURDAY & SUNDAY: CLOSED			
C1.0	PROPOSED SITE PLAN												AD	AREA DRAIN	HD.	HEAD	SM.	SIMILAR	NOTE OF BUSINESS OPERATION DESCRIPTION:			
C2.0	GRADING, EROSION CONTROL AND UTILITY PLAN												ADJ.	ADJUSTABLE	HDWE.	HARDWARE	STD.	STANDARD	EXISTING OFFICE SPACE AREA: _____ 14,007 S.F.			
C3.0	SITE DETAILS												AFF	ABOVE FINISHED FLOOR	HDWD.	HARDWOOD	STL.	STEEL	EXISTING WAREHOUSE AREA: _____ 32,678 S.F.			
E1.0	EXISTING AND PROPOSED SITE LIGHTING PLAN												AL	ALUMINUM	HORZ.	HORIZONTAL	STO.	STORAGE	TYPE OF CONSTRUCTION: _____ TYPE 11B, - FULLY SPRINKLERED			
E1.1	EXISTING AND ENLARGED SITE LIGHTING PLAN												ALT.	ALTERNATE	HRT.	HEIGHT	STO.	STORAGE	OCCUPANCY TYPE: _____ M (MERCANTILE)			
L1.0	EXISTING AND PROPOSED OVERALL SITE LANDSCAPE PLAN												ANOD.	ANODIZED	HVAC	HEATING, VENTILATING AND	SUSP.	SUSPENDED	NUMBER OF STORIES: _____ SINGLE STORY BLDG			
L2.0	PROPOSED DETAIL SITE LANDSCAPE PLAN												ANT.	ANTENNA	HT.	HEATING, VENTILATING AND	T/	TOP OF	FIRE RESISTIVE REQUIREMENTS: _____ SMOKE DETECTION			
A2.4	ENLARGED ENTRY PLAN AND RENDERING												APPD.	APPROVED	INCL.	INCLUDE (ED) (ING)	T&B	TOP AND BOTTOM	APPLICABLE CODES:			
A4.0	EXISTING BUILDING ELEVATIONS												ARCH.	ARCHITECT	INFO.	INFORMATION	T&G	TONGUE AND GROOVE	GENERAL PROJECT NOTES			
A4.1	EXISTING AND PROPOSED BUILDING SECTIONS												ARCHL.	ARCHITECTURAL	INSUL.	INSULATED OR INSULATION	TEL.	TELEPHONE	1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF THE CITY OF MIDDLETON, STATE OF WI, AND THE AMERICANS WITH DISABILITIES ACT.			
R1.0	PROPOSED ENTRY RENDERING												B.M.	BENCH MARK	INT.	INTERIOR	TEMP.	TEMPORARY	2. ALL WORK SHALL CONFORM TO THE SPECIFICATIONS AND QUALITY STANDARDS EXPRESSED IN THESE DRAWINGS AND WHICH FORM THE BASIS FOR THE CONTRACT DOCUMENTS.			
													BETW.	BETWEEN	J.C.	JANITOR'S CLOSET	TERR.	TERRAZZO	3. THE GENERAL CONTRACTOR SHALL VERIFY AT THE JOB SITE ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THIS PROJECT.			
													BIT.	BITUMINOUS	J.B.	JAMB	THICK	THICK	4. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS. THE DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS.			
													BLDG.	BUILDING	JT.	JOINT	TKK	TYPICAL	5. COMMENCEMENT OF WORK BY THE GENERAL CONTRACTOR SHALL SIGNIFY THE ACCEPTANCE OF THE SITE CONDITIONS.			
													BLK.	BLOCKING	L.P.	LOW POINT	U.L.	UNDERWRITERS LABORATORY	6. ON COMPLETION OF THE WORK AND BEFORE ACCEPTANCE BY THE ARCHITECT, THOROUGHLY CLEAN THE AREAS AFFECTED (INCLUDING ANY AREAS OUTSIDE THE LIMITS OR CONTRACTOR'S WORK AREA, WHERE PERMISSION HAS BEEN GRANTED BY THE ARCHITECT IN SUCH AREAS), REMOVE ALL SURPLUS CONSTRUCTION MATERIAL OR DEBRIS RESULTING FROM THE WORK AND DISPOSE OF THE SAME OFF SITE.			
													BLKG.	BLOCKING	LAM.	LAMINATE	U.N.O.	UNLESS NOTED OTHERWISE	7. WHERE JOB CONDITIONS REQUIRE REASONABLE CHANGES IN LOCATIONS & ARRANGEMENT OF INDICATED MATERIALS, CONTRACTOR SHALL MAKE SUCH CHANGES WITHOUT COST TO OWNER, UNLESS OTHERWISE APPROVED.			
													BM.	BEAM	LAV.	LAVATORY	V.B.	VINYL BASE	8. ALL HARDWARE IS TO BE ADA APPROVED			
													BRG.	BEARING	LH	LEFT HAND	V.C.T.	VINYL COMPOSITION TILE	9. ALL WOOD GROUNDS, BLOCKING, NAILERS AND SUBSTRATE SHALL BE FIRE RETARDANT TREATED			
													BSMT.	BASEMENT	LT.	LIGHT	VAP. BAR.	VAPOR BARRIER	10. ALL FIRE ALARM WORK SHALL BE IN ACCORDANCE WITH NFPA 101			
															LVR.	LOUVER	VERT.	VERTICAL	11. FIRE STOPPING AND SMOKE SEAL SHALL BE PROVIDED AT ALL PENETRATIONS IN SMOKE AND FIRE RATED WALL ASSEMBLIES. PROVIDE FIRE RATED MATERIAL IN ACCORDANCE WITH ASTM E 814			
													C.B.	CERAMIC BASE	M.O.	MASONRY OPENING	VEST.	VESTIBULE				
													C.G.	CORNER GUARD	MACH.	MACHINE	VIF	VERIFY IN FIELD				
													C.T.	CERAMIC TILE	MAX.	MAXIMUM	VWC	VINYL WALL COVERING				
													CAB.	CABINET	MDF	MEDIUM DENSITY FIBREBOARD	W/	WITH				
													CL	CENTER LINE	MECH.	MECHANICAL	WO	WITHOUT				
													CLG.	CEILING	MED.	MEDIUM	WD.	WOOD				
													CLO.	CLOSET	MEZZ.	MEZZANINE	WP	WATERPROOFING				
													CLR.	CLEAR	MFR.	MANUFACTURER						
													CMU	CONCRETE MASONRY UNIT	MN.	MINIMUM						
													COL.	COLUMN	MISC.	MISCELLANEOUS						
													CONC.	CONCRETE	MTD.	MOUNTED						
													CONN.	CONNECTION	MTG.	MOUNTING						
													CONST.	CONSTRUCTION	MTL.	METAL						
													CORR.	CORRIDOR	MULL.	MULLION						
													OPT.	CARPET	MWK.	MILLWORK						
													DBL.	DOUBLE	NIC	NOT IN CONTRACT						
													DET.	DETAIL	NO.	NUMBER						
													DIA.	DIAMETER	NOM.	NOMINAL						
													DM.	DIMENSION	NRC	NOISE REDUCTION COEFF.						
													DN	DOWN	NTS	NOT TO SCALE						
													DR.	DOOR	O.C.	ON-CENTER						
													DS	DOWNSPOUT	OA	OVERALL						
													DWG.	DRAWING	OH	OVERHEAD						
													EA	EACH	OFF.	OFFICE						
													EL.	ELEVATION	OPG.	OPENING						
													ELEC.	ELECTRICAL	OPP.	OPPOSITE						
													ELEV.	ELEVATOR	ORN.	ORNAMENTAL						
													EMER.	EMERGENCY	P.C.	PRECAST CONCRETE						
													ENCL.	ENCLOSED (URE)	PLAM.	PLASTIC LAMINATE						
													ENG.	ENGINEER	PERF.	PERFORATED						
													EQ.	EQUIP.	PH.	PHASE						
													EOPMT.	EQUIPMENT	PL.	PLATE						
													ESC.	ESCALATOR	PLAS.	PLASTER						
													EWC	ELECTRIC WATER COOLER	PLBG.	PLUMBING						
													EX	EXISTING	PLYWD.	PLYWOOD						
													EXH.	EXHAUST	PNL.	PANEL						
													EXIST.	EXISTING	PKG.	PARKING						
													EXP.	EXPANSION OR EXPOSE	PR.	PAIR						
													EXT.	EXTERIOR	PROT.	PROTECT (ION)						
													FD	FLOOR DRAIN	PT.	PAINT						
													FDVC	FIRE DEPT VALVE CABINET	PTD.	PAINTED						
													FE	FIRE EXTINGUISHER	PTN.	PARTITION						
													FEVC	FIRE EXTINGUISHER AND VALVE CABINET	PVMT.	PAVEMENT						
													FHC	FIRE HOSE CABINET	Q.T.	QUARRY TILE						
													FIN.	FINISHED	QTY.	QUANTITY						
													FLG.	FLASHING	R.	RADIUS						
													FLR.	FLOOR	R.B.	RUBBER BASE						
													FRT	FIRE RETARDANT TREATED	R.C.P.	REFLECTED CLG PLAN						
													FUT.	FUTURE	R.O.	ROUGH OPENING						
													FVC	FIRE VALVE CABINET	R.T.	RUBBER TILE						
													FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN						
													GA	GAUGE	REF.	REFERENCE						
													GALV.	GALVANIZED	REINF.	REINFORCED (ING)						
													GB	GRAB BAR	REMO.	REMOVED						
													GFRG	GLASS FIBER REINFORCED CONC.	REOD	REQUIRED						
													GFRP	GLASS FIBER RNFCD, PLASTER	RES.	RESILIENT						
													GL	GLASS, GLAZING	REV.	REVISION or REVISED						
													GYP.BD.	GYPSPUM WALL BOARD	RF.	ROOF						

SITE AND BUILDING STATISTICS – EXISTING

TOTAL LOT AREA 136,540 SQ.FT. / 100 %
 3.135 ACRES
 NUMBER OF EXISTING PARKING STALLS 76 REGULAR / 3 HANDICAP = 79

TOTAL IMPERVIOUS 85,800 SQ.FT.
 LOT COVERAGE 63 %
 GREENSPACE 50,740 SQ.FT. / 37 %
 ASPHALT 36,730 SQ.FT. / 27 %
 CONCRETE 2,385 SQ.FT. / 2 %

EXISTING TOTAL BUILDING 46,685 SQ.FT. / 34 %
 BUILDING EAVE HEIGHTS 17' LOW BLDG and 24' WAREHOUSE

ONE STORY
 TYPE 6 CONSTRUCTION (FULLY SPRINKLERED)
 TYPE " IIB " CONSTRUCTION (SPRINKLERED)
 USE: OFFICE/WAREHOUSE

SITE AND BUILDING STATISTICS – NEW

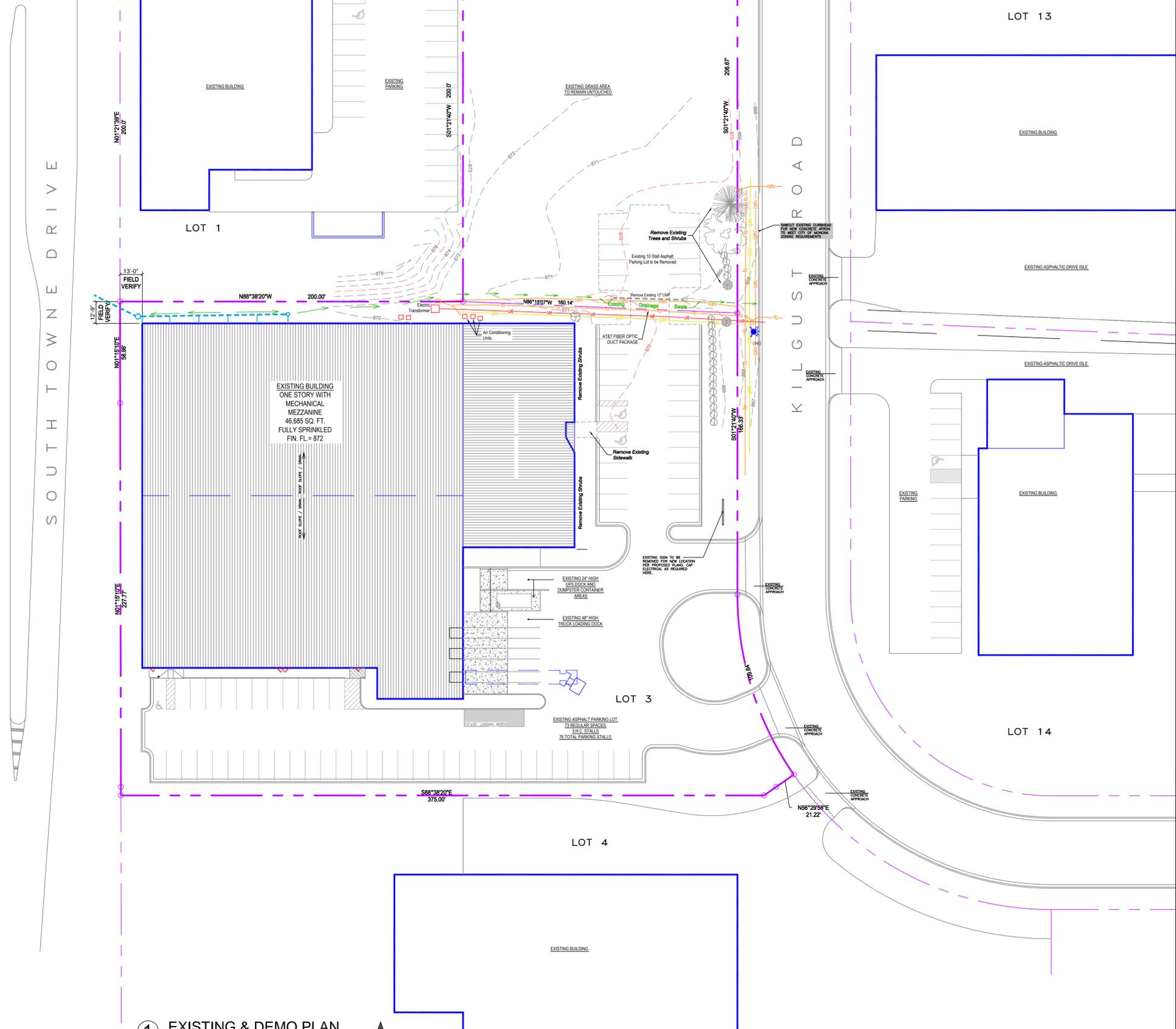
TOTAL LOT AREA 136,540 SQ.FT. / 100 %
 3.135 ACRES
 TOTAL NUMBER OF EXISTING PARKING STALLS 79
 TOTAL NUMBER OF REMOVED PARKING STALLS 10
 TOTAL NUMBER OF PROPOSED STALLS 22

TOTAL IMPERVIOUS ON NEW LOT 95,851 SQ.FT.
 TOTAL IMPERVIOUS ON EXISTING LOT 85,800 SQ.FT.
 TOTAL IMPERVIOUS W/ BUILDING 96,031 SQ.FT.

GREENSPACE 40,509 SQ.FT. / 30 %
 ASPHALT 8,752 SQ.FT. / 6 %
 CONCRETE 1,479 SQ.FT. / 1 %
 LOT COVERAGE 70 %

LEGEND

- gas — GAS
- catv — UNDERGROUND COMMUNICATIONS
- ue — UNDERGROUND ELECTRIC
- - - EXISTING CONTOUR
- - - MINOR CONTOUR
- - - EASEMENT
- cmp — EXISTING CMP STORM SEWER
- san — EXISTING SANITARY SEWER
- wat — EXISTING WATER
- - - BOUNDARY
- PARKING LOT STRIPING
- = EDGE OF PAVEMENT / CURB



1 EXISTING & DEMO PLAN
 1" = 30' 0" NORTH

REVISIONS		
#	Date	Description

ARCHITECT OF RECORD

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 DESIGN ARCHITECT
 INTERIOR DESIGN
 PLANNING
 6603 University Avenue
 Middleton, Wisconsin 53562
 Ph: 608.836.1128
 F: 608.836.1148
 www.zinggdesign.com

GENERAL CONTRACTOR

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 CONTACT: CHAD ESCHLER
 300 S. BEDFORD STREET
 MADISON, WI 53703
 PH: 608-441-1680
 CESCHLER@FINDORFF.COM

ELECTRICAL CONTRACTOR

SCHULTZ ELECTRIC
 CONTACT: JERRY SCHULTZ
 8491 MURPHY DRIVE
 MIDDLETON, WI 53562
 PH: 608-836-7072

SITE CONTRACTOR

HOMBURG CONTRACTORS, INC.
 CONTACT: CHRIS HOMBURG
 5590 MONONA DRIVE
 MONONA, WI 53716
 PH: 608-222-6597

PROJECT

GORDON FLESCH WAREHOUSE
 2501 KILGUST ROAD
 MONONA, WI 53713

SHEET TITLE

EXISTING CONDITIONS & SITE DEMO PLAN

NOTES

DATE: 2015.11.09
PROJECT NO: 1521
DRAWN BY: MK/SB
SCALE: SEE DRAWING
 NOTE: THESE DRAWINGS ARE THE PROPERTY OF ZINGG DESIGN INC. AND CANNOT BE USED IN WHOLE OR PART WITHOUT THE EXPRESSED WRITTEN CONSENT BY ZINGG DESIGN.

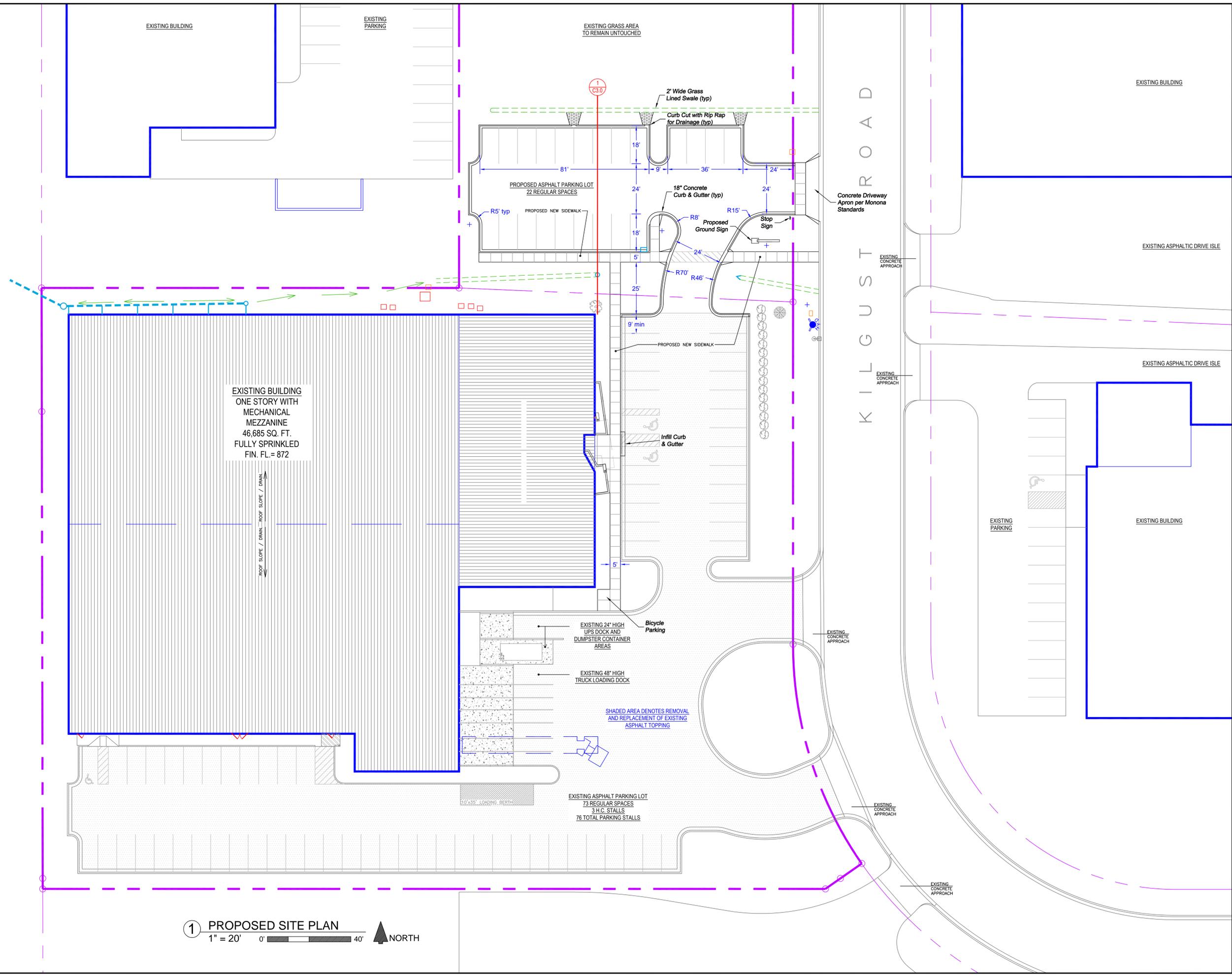
SHEET NUMBER

C0.0

ZINGG DESIGN, INC. ©2015

SOUTH TOWNE DRIVE

KILGUST ROAD



EXISTING BUILDING
 ONE STORY WITH
 MECHANICAL
 MEZZANINE
 46,685 SQ. FT.
 FULLY SPRINKLED
 FIN. FL = 872

ROOF SLOPE / DRAIN / DRAIN
 ROOF SLOPE / DRAIN

EXISTING GRASS AREA
 TO REMAIN UNTOUCHED

PROPOSED ASPHALT PARKING LOT
 22 REGULAR SPACES

EXISTING ASPHALT PARKING LOT
 73 REGULAR SPACES
 3 H.C. STALLS
 76 TOTAL PARKING STALLS

1 PROPOSED SITE PLAN
 1" = 20' 0" NORTH

REVISIONS		
#	Date	Description

ARCHITECT OF RECORD



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 CESCHLER@FINDORFF.COM

ELECTRICAL CONTRACTOR

SCHULTZ ELECTRIC
 CONTACT: JERRY SCHULTZ
 8491 MURPHY DRIVE
 MIDDLETON, WI 53562
 PH: 608-836-7072

CONCRETE CONTRACTOR

HOMBURG CONTRACTORS, INC.
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 PH: 608-222-6597

PROJECT

GORDON FLESCH WAREHOUSE
 2501 KILGUST ROAD
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SHEET TITLE

PROPOSED SITE PLAN

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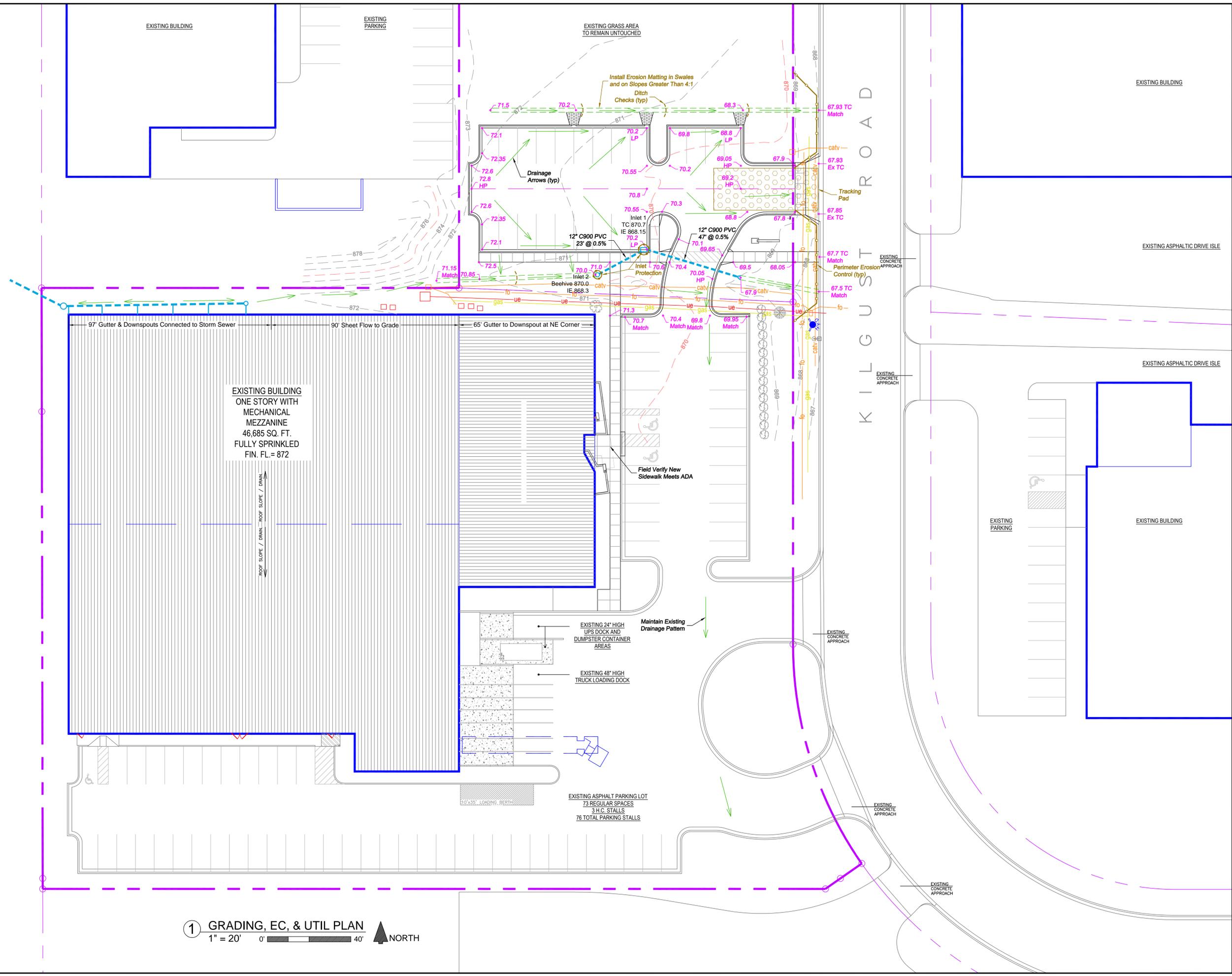
SHEET NUMBER

C1.0

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SOUTH TOWNE DRIVE

KILGUST ROAD



EXISTING BUILDING

EXISTING PARKING

EXISTING GRASS AREA TO REMAIN UNTOUCHED

EXISTING BUILDING

EXISTING ASPHALTIC DRIVE ISLE

EXISTING ASPHALTIC DRIVE ISLE

EXISTING BUILDING

EXISTING PARKING

EXISTING BUILDING
ONE STORY WITH MECHANICAL MEZZANINE
46,685 SQ. FT.
FULLY SPRINKLED
FIN. FL. = 872

ROOF SLOPE / DRAIN / DRAIN

97' Gutter & Downspouts Connected to Storm Sewer

90' Sheet Flow to Grade

65' Gutter to Downspout at NE Corner

Field Verify New Sidewalk Meets ADA

EXISTING 24' HIGH UPS DOCK AND DUMPSTER CONTAINER AREAS

EXISTING 48' HIGH TRUCK LOADING DOCK

EXISTING ASPHALT PARKING LOT
73 REGULAR SPACES
3 H.C. STALLS
76 TOTAL PARKING STALLS

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ARCHITECT OF RECORD

ZINGG DESIGN INC.
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CONTRACTOR

HOMBURG CONTRACTORS, INC.
CONTACT: CHRIS HOMBURG
5590 MONONA DRIVE
MONONA, WI 53716
PH: 608-222-6597

PROJECT

GORDON FLESCH WAREHOUSE
2501 KILGUST ROAD
MONONA, WI 53713

SHEET TITLE

GRADING, EROSION CONTROL, AND UTILITY PLAN

NOTES

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SHEET NUMBER

C2.0

ZINGG DESIGN, INC. ©2015

① GRADING, EC, & UTIL PLAN
1" = 20'



Erosion Control Notes/Specifications:

1. Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.

2. Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.

3. All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours.

4. Install Type D inlet filters in any street inlet receiving runoff from this site. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.html>

5. Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm> and comply with all City of Madison ordinances.

6. All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.

7. All disturbed areas shall be seeded immediately after grading activities have been completed.

8. All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixture 40 shall be used on all areas. Mixtures shall be in accordance with section 630 of Wisconsin D.O.T. specifications. Seed mixtures and fertilizer shall be applied at the rate of seven (7) pounds per 1,000 square feet. Mulch shall be applied at the rate of 2 tons per acre and shall be anchored into the soil by discing. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.

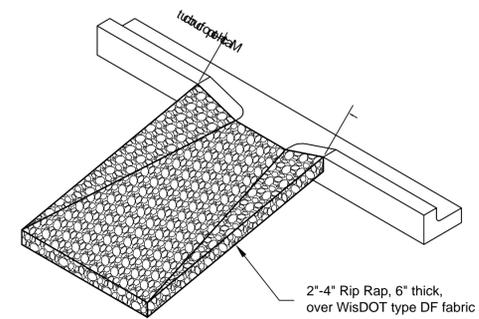
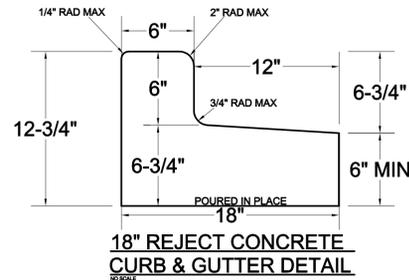
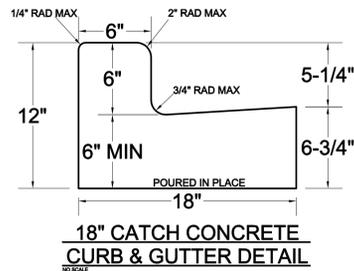
9. For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

10. Following rough grading, deep tilling will be performed on all graded areas outside of building and street footprints. The operation shall be accomplished using twin straight steel shanks drawn by tracked machinery. Each shank shall be 24 to 36 inches long, positioned over each track.

11. All access point to the project site must have a Stone Construction Entrance

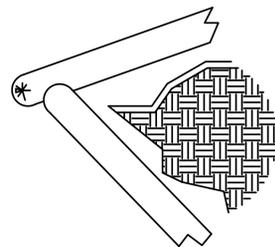
12. If rill erosion becomes problematic, the contractor shall apply soil stabilization polymers on all slopes greater than 10% or in problem areas.

Emergency Contact
Mike Hackel
Homburg Contractors, Inc.
5590 Monona Drive
Monona, WI 53716
(608) 241-1178



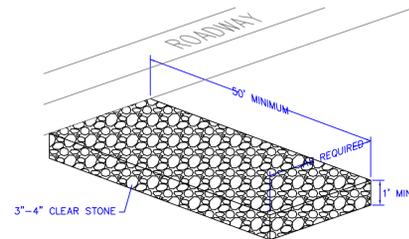
Rip Rap at Curb Cuts

Silt Sock Detail



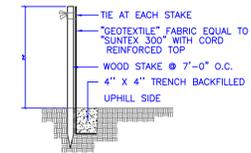
INSTALLATION PROCEDURE
Lay full socks in a single row with a 4" end to end overlap.

CONSTRUCTION ENTRANCE DETAIL

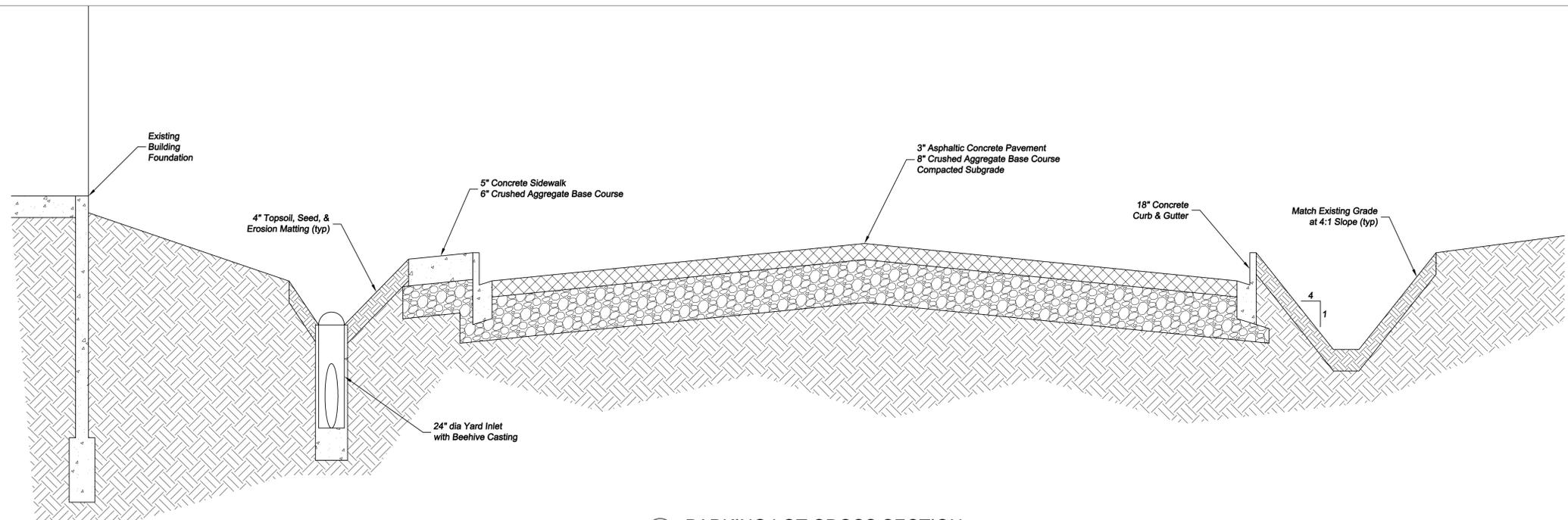


NOTES:
1. CLEAN UP ANY MATERIAL TRACKED OFF SITE. DAILY.
2. REPLACE STONE ENTRANCE WHEN IT BECOMES TOO CLOGGED TO PROVIDE ANY CLEANING BENEFIT.

SILT FENCE INSTALLATION DETAIL



INSTALLATION PROCEDURE
STEP 1: EXCAVATE A 4"x4" TRENCH ALONG PATH OF SILT FENCE.
STEP 2: STAKE THE SILT FENCE ON DOWNSLOPE SIDE OF TRENCH AND EXTEND 8" OF FABRIC INTO THE TRENCH.
STEP 3: WHEN JOINTS ARE NECESSARY, OVERLAP ENDS FOR THE DISTANCE BETWEEN THE STAKES.
STEP 4: BACKFILL AND COMPACT THE EXCAVATED SOIL.



1 PARKING LOT CROSS SECTION
1" = 5'

REVISIONS		
#	Date	Description

ARCHITECT OF RECORD



ZINGG DESIGN
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PH: 608-836-7072

SITE CONTRACTOR



CONTACT: CHRIS HOMBURG
5590 MONONA DRIVE
MONONA, WI 53716
PH: 608-222-6597

PROJECT

**GORDON FLESCH
WAREHOUSE
2501 KILGUST ROAD
MONONA, WI 53713**

SHEET TITLE

**SITE
DETAILS**

NOTES

DATE: 2015.11.09

PROJECT NO: 1521

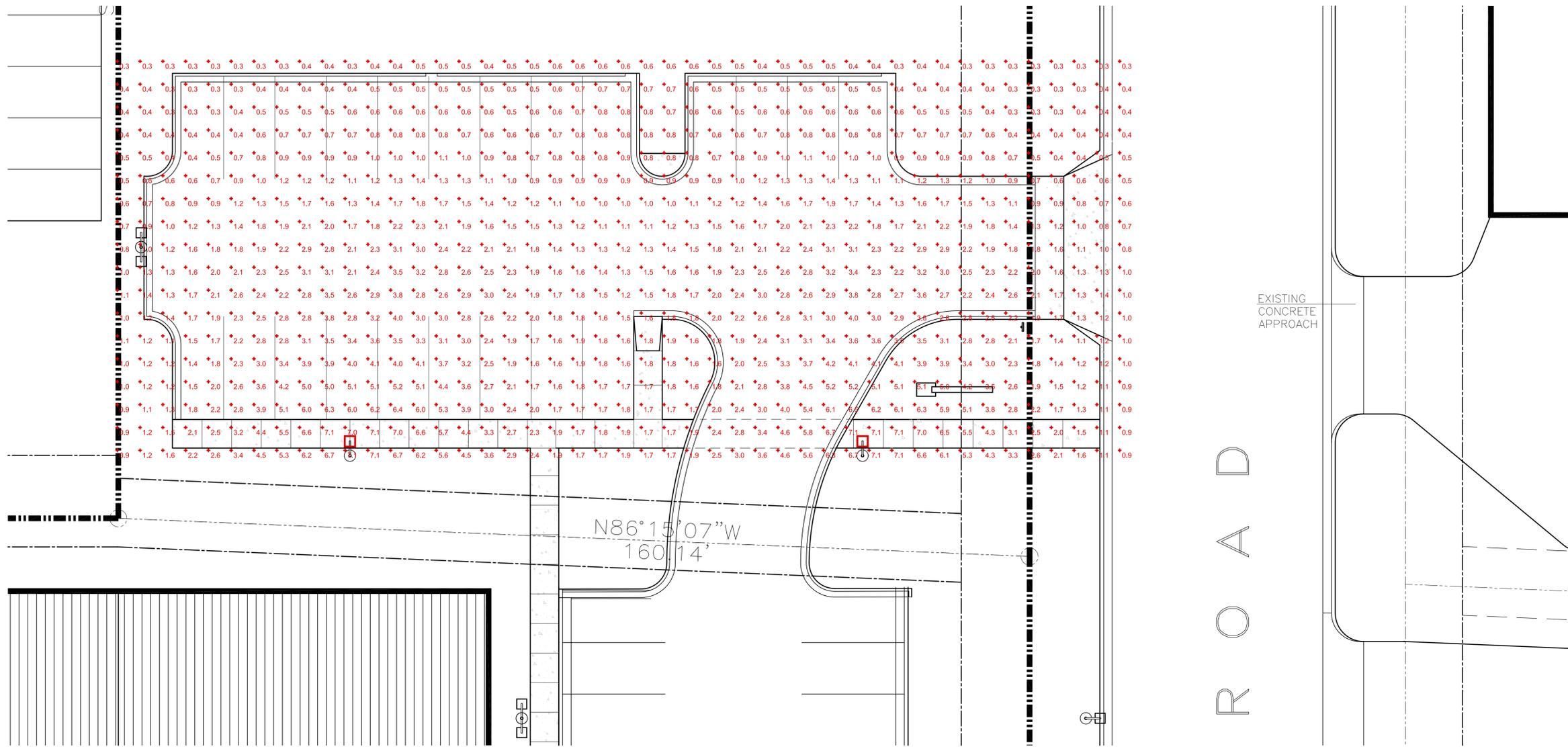
DRAWN BY: MK/SB

SCALE: SEE DRAWING

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SHEET NUMBER

C3.0



01 EXISTING AND ENLARGED SITE LIGHTING PLAN
SCALE: 1" = 10'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.9 fc	7.1 fc	0.3 fc	23.7:1	6.3:1

Schedule											
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
	A		2	AS2 400S SR4W	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR. MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA.	ONE 400-WATT CLEAR ET-25 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	1	50000	0.67	468	

REVISIONS		
#	Date	Description
1	2-18-15	BID ADDENDUM

ARCHITECT OF RECORD

ZINGG DESIGN
DESIGN ARCHITECT
INTERIOR DESIGN
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SCHULTZ ELECTRIC
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PH: 608-836-7072

PROJECT

GORDON FLESCH
WAREHOUSE
2501 KILGUST ROAD
MONONA, WI 53713

SHEET TITLE

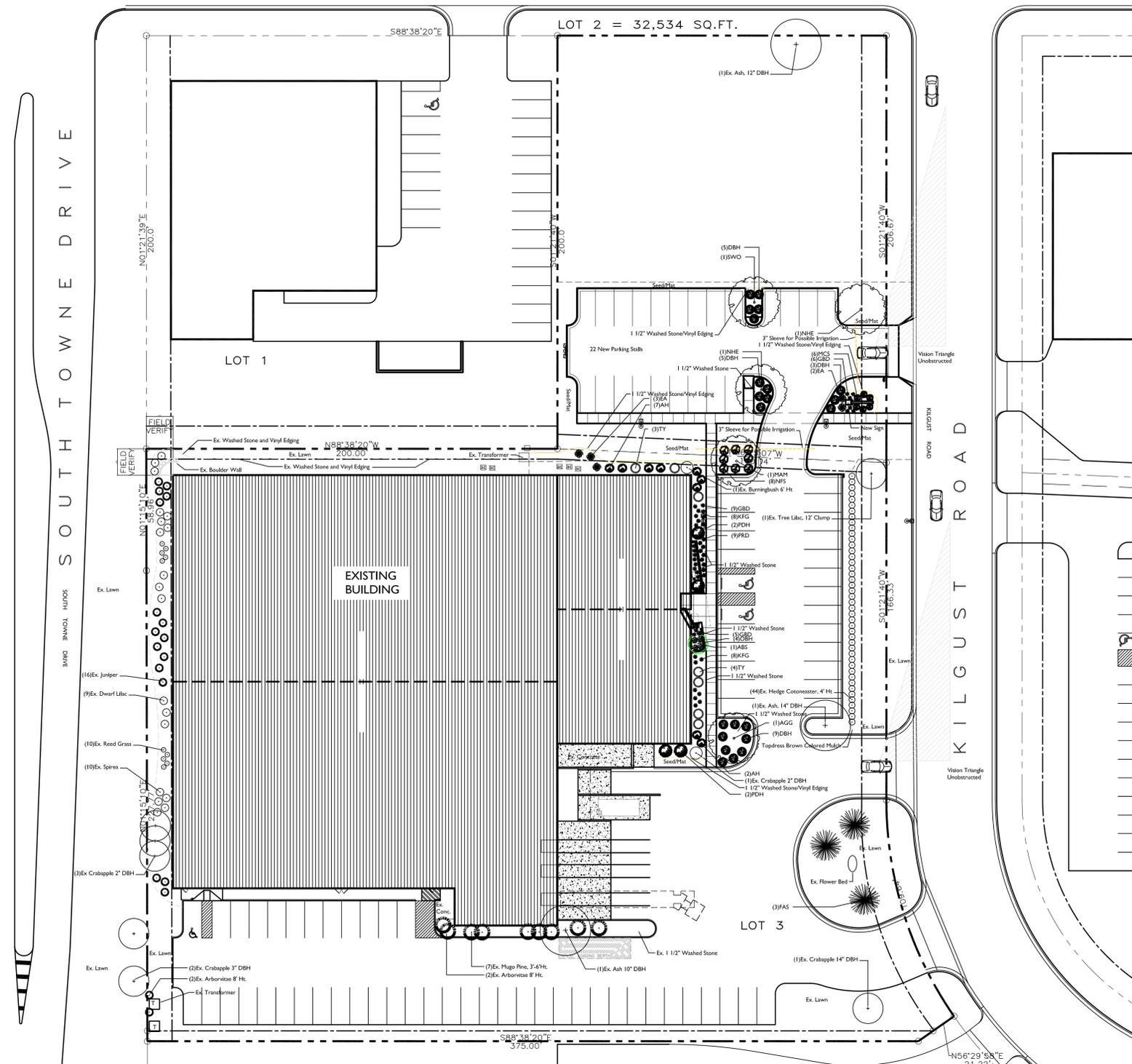
EXISTING AND
ENLARGED SITE
LIGHTING PLAN

NOTES

DATE: 2015.11.09
PROJECT NO: 1521
DRAWN BY: KK/FH
SCALE: SEE DRAWING
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SHEET NUMBER

E1.1
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Plant Material List

Broadleaf Deciduous				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	MAM	Marmo Maple	Acer X Freemanii 'marmo'	2 1/2" B&B
1	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
1	AGG	Autumn Gold Ginkgo	Ginkgo Biloba 'autumn Gold'	2 1/2" B&B
1	SWO	Swamp White Oak	Quercus Bicolor	2 1/2" B&B
2	NHE	New Horizon Elm	Ulmus 'new Horizon'	2 1/2" B&B
Conifer Evergreen				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
3	FAS	Fat Albert Blue Spruce	Picea Pungens 'fat Albert'	6' B&B
7	TY	Taunton Yew	Taxus X Media 'tauntonii'	18" B&B
5	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	5' B&B
Perennial				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
16	KFG	Karl Foerster's Feather Reed G	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
20	GBD	Going Bananas Daylily	Hemerocallis 'going Bananas'	#1 CONT.
4	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
9	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
Shrub				
Quantity	Code Name	Common Name	Scientific Name	Planting Size
22	DBH	Dwf Bush-Honeysuckle	Diervilla Lonicera	#2 CONT.
9	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
4	PDH	Pink Diamond Hydrangea	Hydrangea Paniculata 'pink Diamond'	#5 CONT.
8	NFS	Neon Flash Spirea	Spiraea Japonica 'neon Flash'	#2 CONT.
6	MCS	Magic Carpet Spirea	Spiraea Japonica 'walbuma'	#2 CONT.

GENERAL NOTES

- A) Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Diva Kentucky Bluegrass
 20% Foxy II Creeping Red Fescue
 15% Vail II Perennial Ryegrass
 15% Ginney Kentucky Bluegrass
- G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the soil with metal staples.
- H) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

CITY OF MONONA

LANDSCAPE POINTS REQUIREMENTS

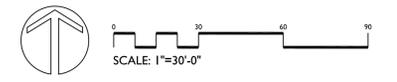
NUMBER OF PARKING STALLS	91
NUMBER OF 2" MIN. CAL. TREES REQUIRED	8
NUMBER OF LANDSCAPE POINTS REQUIRED	1,365

SOLUTION

8	CANOPY TREES (5 New & 3 Existing) (2"-2 1/2" OR 1 1/2"-2" FOR MULTI-STEM TREES) @ 50 PTS.	400
-	CANOPY TREES (1 1/2"-2" OR 8'-10') @ 30 PTS.	-
10	EVERGREEN TREES (4' HT.) @ 30 PTS. (5 New & 5 Existing)	300
9	LOW ORNAMENTAL TREES (5' AND BB STOCK) @ 20 PTS. (1 New & 8 Existing)	180
56	TALL SHRUBS (2 1/2'-4') @ 9 PTS. (4 New & 52 Existing)	509
64	MEDIUM SHRUBS (18"-36") @ 6 PTS. (46 New & 25 Existing)	384
16	LOW SHRUBS (15"-24") @ 3 PTS. (6 New & 10 Existing)	48
TOTAL POINTS		1,821



OVERALL LANDSCAPE PLAN



REVISIONS

#	Date	Description

ARCHITECT OF RECORD

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LANDSCAPE CONTRACTOR

THE BRUCE COMPANY
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PH: 608-836-7041

PROJECT

**GORDON FLESCH
WAREHOUSE
2501 KILGUST ROAD
MONONA, WI 53713**

SHEET TITLE

**EXISTING
AND PROPOSED
SITE LANDSCAPE PLAN**

NOTES

DATE: 2015.11.09

PROJECT NO: 1521

DRAWN BY: FH/RS

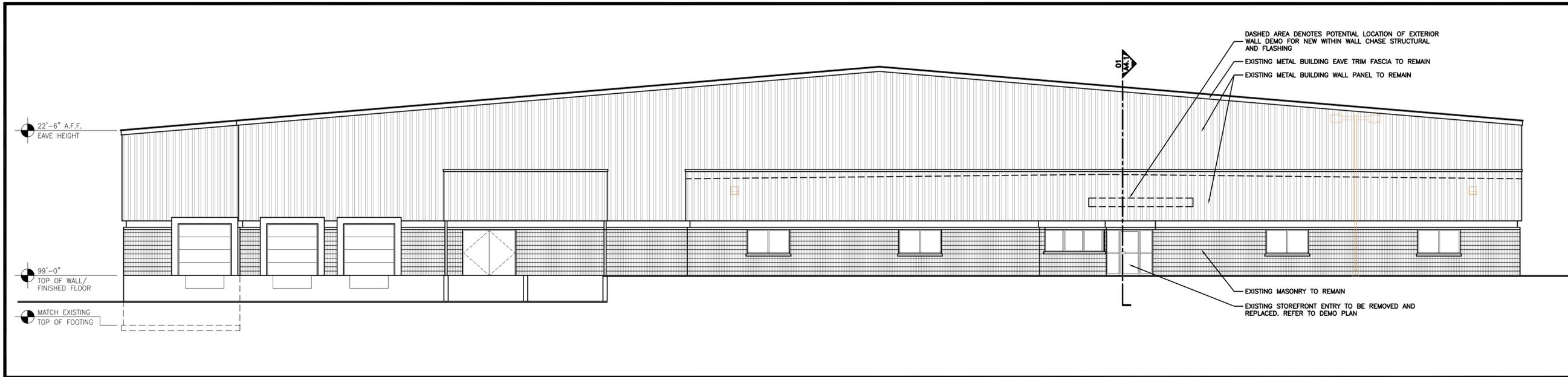
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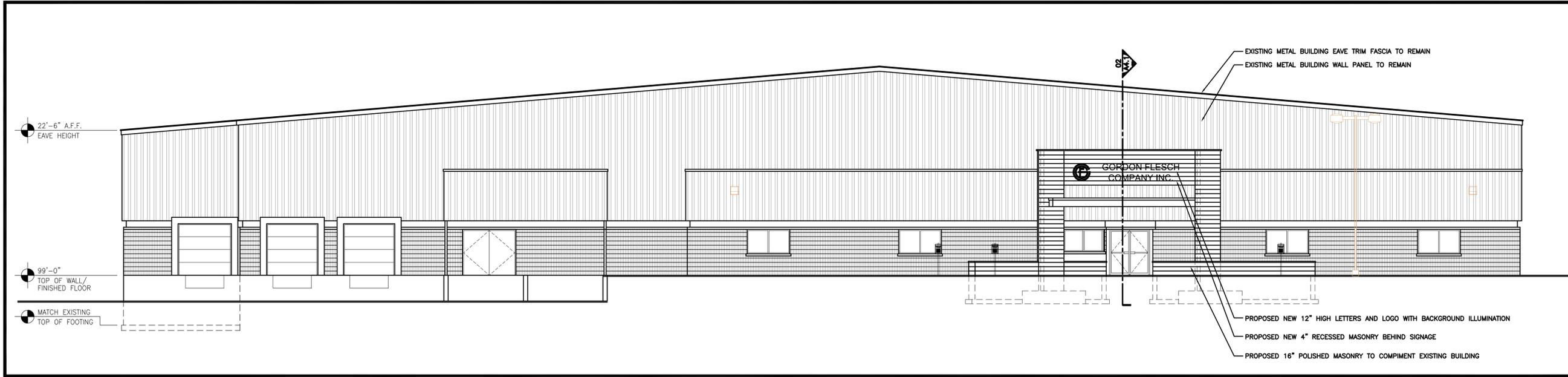
SHEET NUMBER

L1.0

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01 EXISTING EASTSIDE BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



02 EXISTING AND PROPOSED EASTSIDE BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS		
#	Date	Description
1	2-18-15	BID ADDENDUM
2	8-24-15	ADDENDUM

ARCHITECT OF RECORD



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PROJECT

**GORDON FLESCH
WAREHOUSE
2501 KILGUST ROAD
MONONA, WI 53713**

SHEET TITLE

**EXISTING AND
PROPOSED EAST
ELEVATION**

NOTES

DATE: 2015.11.09
PROJECT NO.: 1521
DRAWN BY: FH

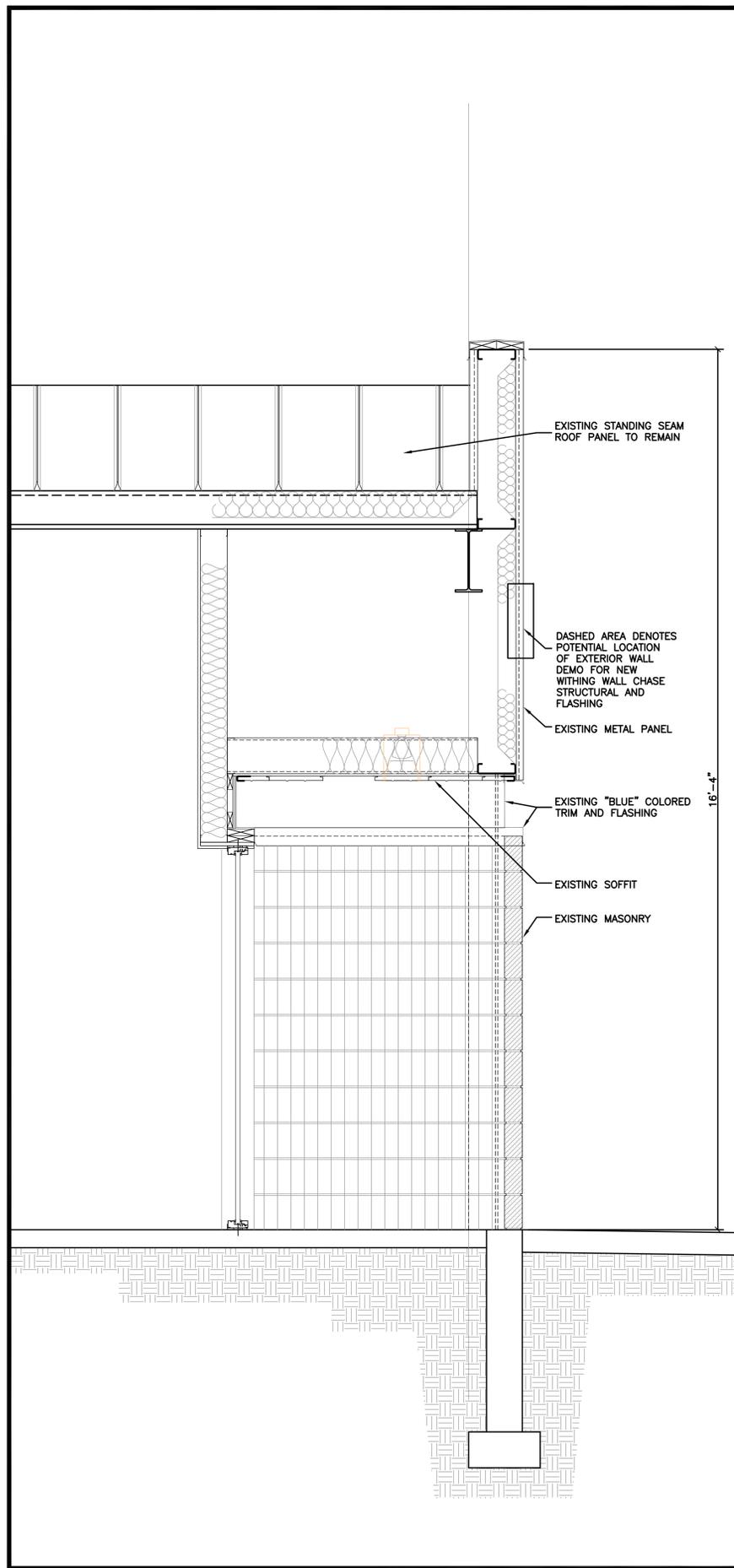
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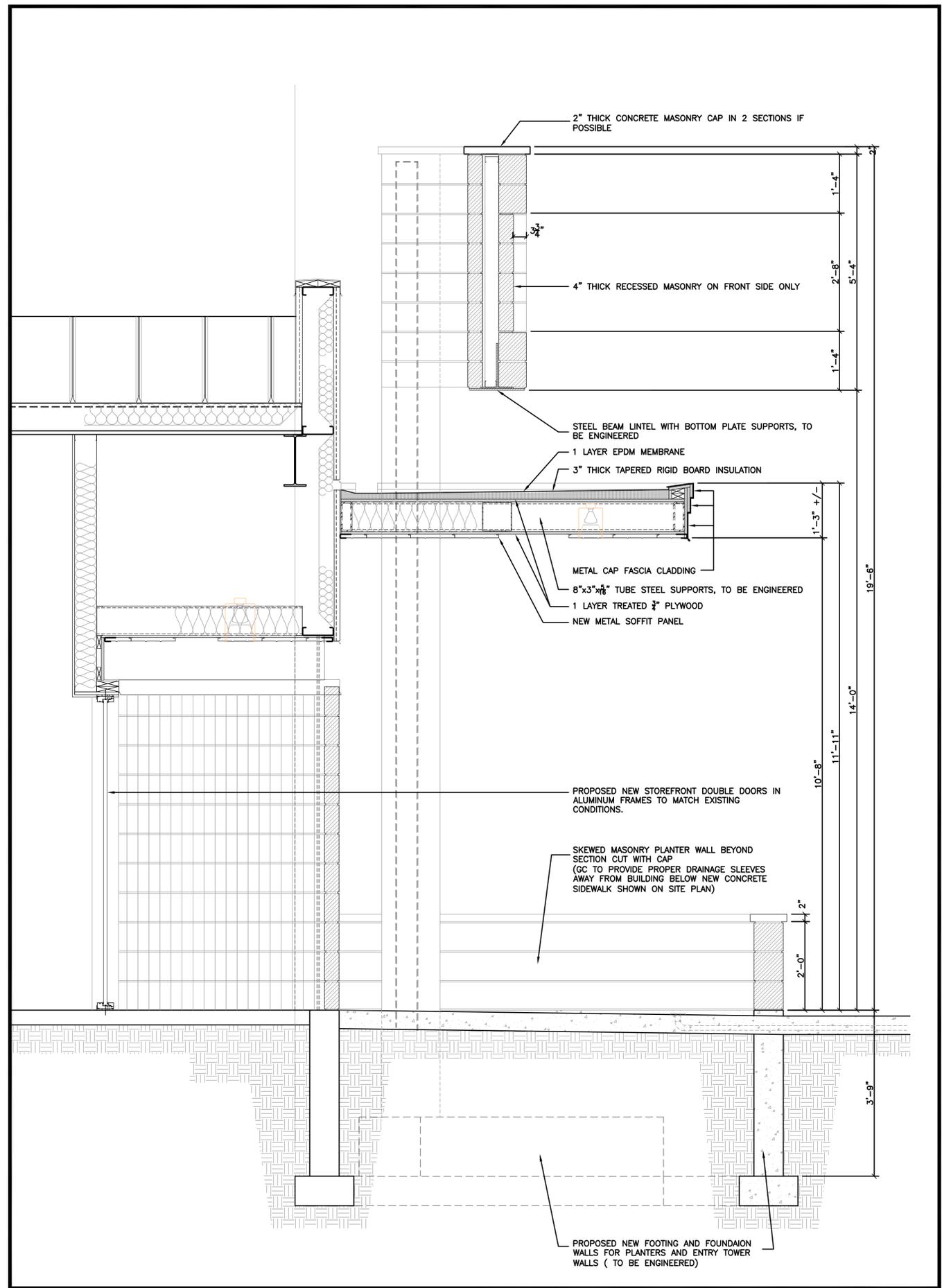
SHEET NUMBER

A4.0

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01 EXISTING BUILDING SECTION
SCALE: 3/4" = 1'-0"



02 EXISTING AND PROPOSED BUILDING SECTION
SCALE: 3/4" = 1'-0"

REVISIONS		
#	Date	Description
△	2-18-15	BID ADDENDUM
△	8-24-15	ADDENDUM

ARCHITECT OF RECORD



ZINGG DESIGN
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INTERIOR DESIGN
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PH: 608-836-7072

PROJECT

**GORDON FLESCH
WAREHOUSE**
2501 KILGUST ROAD
MONONA, WI 53713

SHEET TITLE

**EXISTING AND
PROPOSED BUILDING
SECTIONS**

NOTES

DATE: 2015.11.09
PROJECT NO.: 1521
DRAWN BY: FH
SCALE: SEE DRAWING

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SHEET NUMBER

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REVISIONS		
#	Date	Description
1	2-18-15	BID ADDENDUM

ARCHITECT OF RECORD



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 PH: 608-836-7072

PROJECT

GORDON FLESCH WAREHOUSE
 2501 KILGUST ROAD
 MONONA, WI 53713

SHEET TITLE

EXTERIOR ENTRY RENDERING

NOTES

DATE: 2015.11.09
PROJECT NO: 1521
DRAWN BY: KK/FH
SCALE: SEE DRAWING

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SHEET NUMBER

R1.0

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FEATURES & SPECIFICATIONS

INTENDED USE — Streets, walkways, parking lots and surrounding areas.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing with nominal wall thickness of 1/8". Die-cast door frame has impact-resistant, tempered, glass lens (3/16" thick). Door frame is fully gasketed with one-piece tubular silicone. **US. Patent No. D447,590. Canada Patent No. 94324.**

Finish: Standard finish is dark bronze polyester powder finish. Additional architectural colors are available.

OPTICS — Anodized segmented reflectors for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Five full cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw), Type IV (wide, forward throw) and Type V (symmetric square).

ELECTRICAL — Ballast: Constant wattage autotransformer. Metal Halide: Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for 175-400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory-tested. All ballasts are mounted on a removable power tray with tool-less latch and have positive locking disconnect plug.

Socket: Porcelain, horizontally-mounted, mogul-base socket with copper alloy, nickel-plated screw shell and center contact.

INSTALLATION — Integral arm for pole or wall mounting. Optional mountings available.

LISTINGS — UL Listed (standard). CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 Rated.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

AERIS™
Architectural Area & Roadway Luminaires



AS2

METAL HALIDE: 175W-400W
HIGH PRESSURE SODIUM: 200W-400W
10' to 35' Mounting

Specifications

EPA: 1.2 ft²

Length: 28-1/2 (72.4)

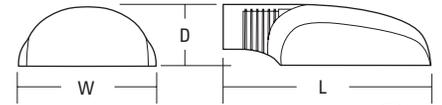
Width: 17-1/8 (43.2)

Height: 8-3/8 (21.0)

*Weight: 40 lbs (18.2 kg)

All dimensions are inches (centimeters) unless otherwise indicated.

*Weight as configured in example below.



Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

ORDERING INFORMATION

For shortest lead times, configure products using **standard options (shown in bold)**.

Example: AS2 250M SR3 TB SCWA SPA LPI

AS2	Series	Wattage	Distribution	Voltage	Ballast	Mounting	Options	Finish ¹⁶	Lamp ¹⁷
	AS2	<u>Metal halide</u>	SR2 Segmented type II roadway	120 208 ⁷ 240 ⁷	(blank) Magnetic ballast CWI Constant wattage isolated	SPA Square pole mounting RPA Round pole mounting WBA Wall bracket (up or down) ¹⁰	<u>Shipped installed in fixture</u> SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) PER NEMA twist-lock receptacle only (no photocontrol) EC Emergency circuit ¹³ QRS Quartz restrike system ¹³ HS Houseside shield (SR2, SR3) ^{11, 14} CSA CSA certified NOM NOM certified ⁹ INTL Available for MH probe start shipping outside the U.S.	(blank) Dark bronze DBL Black DGC Charcoal gray DMB Medium bronze DNA Natural aluminum DWH White <u>Super Durable Finishes</u> DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	LPI Lamp included L/LP Less lamp
		200M ³ 250M⁴ 320M ³ 350M ^{2, 3, 5} 400M^{4, 5} High pressure sodium ⁶	SR3 Segmented type III asymmetric SR4SC Segmented type IV forward throw, sharp cutoff SR4W Segmented type IV wide, forward throw SR5S Segmented type V symmetric square	277 347 480 ⁷ TB⁸ 23050HZ ⁹	Pulse Start SCWA Super CWA pulse start ballast Note: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	ASKMA2 Mast arm adapter DCAS2 Decorative curved arm, square pole only DCAS2R Decorative curved arm, round pole only SPA19/AS Square pole adaptor (DM19 to SPA) RPA19/AS Round pole adaptor (DM19 to RPA)	REGC1 California Title 20 effective 1/1/2010 <u>Shipped separately</u> ¹¹ PE1 NEMA twist-lock PE (120, 208, 240V) PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap VG Vandal guard ¹⁵		

Note: Aeris™ has a unique drilling template that requires an Aeris drilling pattern to be specified when ordering poles. See example below.
Example: SSA 20 4C DM19AS DDB

Aeris Drilling Pattern

DM19AS	1 at 90 degrees
DM28AS	2 at 180 degrees
DM29AS	2 at 90 degrees
DM39AS	3 at 90 degrees
DM49AS	4 at 90 degrees
DM32AS	3 at 120 degrees (round poles only)

Accessories: Tenon Mounting Slipfitter							
Order as separate catalog number. Must be used with pole mounting (RPA).							
Tenon O.D.	One	Two@180°	Two@90°	Three@120°	Three@90°	Four@90°	
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490	
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490	
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490	

Notes

- Lower wattages available. Consult factory.
- These wattages do not comply with California Title 20 regulations.
- Must be ordered with SCWA.
- These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 in not available in 347 or 480V.
- Must use reduced jacket lamp.
- Not available with SCWA.
- Must specify CWI for use in Canada.
- Optional multi-tap ballast (120, 208, 240, 277V) (120, 277, 347V in Canada).
- Consult factory for available wattage.
- Mounted in lens-up orientation, fixture is damp location listed.
- May be ordered as an accessory.
- Must specify finish when ordered as an accessory.
- Maximum allowance wattage lamp included.
- Order AS2SR2/3HS U or AS2SR4WHS U as an accessory.
- Order AS2VG U as an accessory.
- See www.lithonia.com/archcolors for additional color options.
- Must be specified.

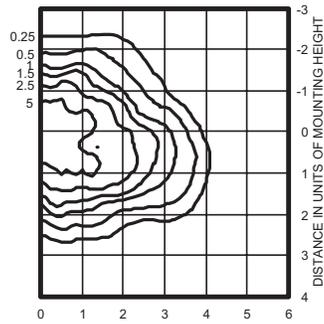
AS2 Metal Halide, High Pressure Sodium Area Lighting

Coefficient of Utilization

Initial Footcandles

AS2 400M SR3 TEST NO. LTL 10099P

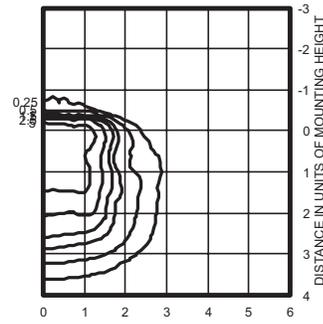
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type III, Medium, Full Cutoff

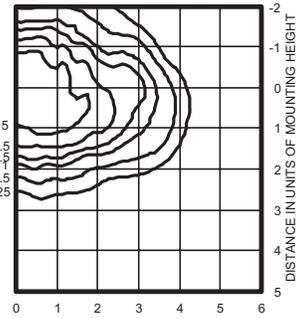
AS2 400M SR45C TEST NO. LTL 10100P

ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type IV, Very Short), Full Cutoff

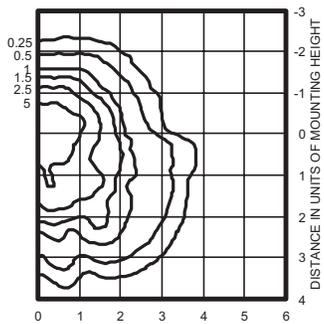
AS2 400S SR3 TEST NO: LTL10104



400W lamp, rated 50000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Medium, Full Cutoff

AS2 400M SR4W TEST NO. LTL 10101P

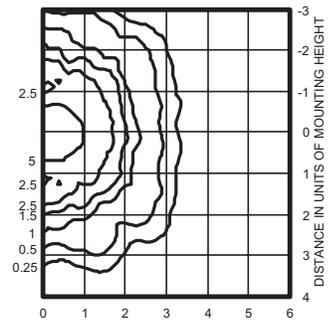
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type IV, Short, Full Cutoff

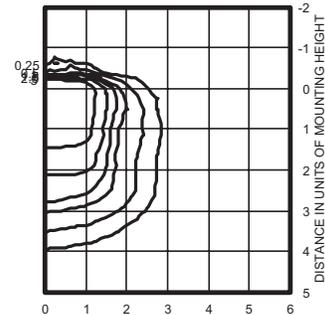
AS2 400M SR5S TEST NO. LTL 10102P

ISOILLUMINANCE PLOT (Footcandle)



150W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type IV, Very Short), Full Cutoff

AS2 400S SR45C TEST NO: LTL10105



400W lamp, rated 50000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type IV, Very Short), Full Cutoff

Notes

- 1 Photometric data for other distributions can be accessed from the Lithonia Lighting web site (www.lithonia.com).
- 2 For electrical characteristics consult Outdoor technical data specification sheets on www.lithonia.com.
- 3 Tested to current IESNA and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory and actual field measurements. Dimensions and specifications are based on the most current data and are subject to change.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

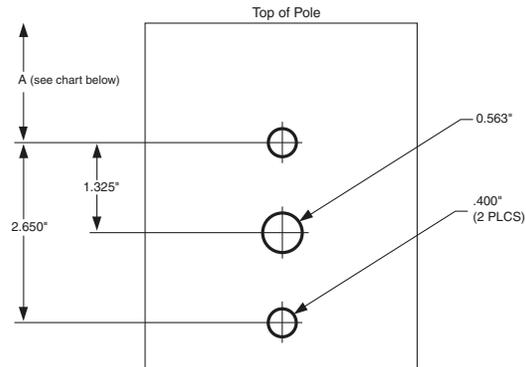
- 10 ft. = 4
- 15 ft. = 1.78
- 30 ft. = 0.44
- 40ft. = .25

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction Factor}$$

DRILLING TEMPLATE # 8

AERIS™

Pole-Mounted Luminaire (not for suspend)



*"A" recommended dimension
Aluminum Poles Only 1.750"
All Other Pole Types 2.750"

Note: Dimension varies by pole type to allow clearance for pole cap. Check pole cap depth if field drilling poles.

NOTE: This drawing is NOT to scale and should be used for dimensional purposes only.